



Date: Wednesday, July 8, 2026
Time: 6:00 pm
Location: Council Chambers, 3rd Floor, City Hall
66 Charlotte Street, Port Colborne

Pages

1. Call to Order
2. Adoption of Agenda
3. Reading of Meeting Protocol
4. Disclosures of Interest
5. Request for Any Deferrals or Withdrawals of Applications
6. New Business

6.1 A09-26-PC - 3229 Firelane 10

1

Action: Minor Variance

Agent: Jamie McNay

Applicant: Joe and Janine Bellonte

Location: 3229 Firelane 10

6.2 A10-26-PC - 1132 Chippawa Road

17

Action: Minor Variance

Agent: Reid Ackland

Applicant: David Fijavz

Location: 1132 Chippawa Road

6.3 B14-26-PC - 62 Erie Street; B15-26-PC; VL Minto Street

31

Action: Consent to Sever

Applicant: Leola and Gilles Brochu

Location: 62 Erie Street and a Vacant Lot on Minto Street

7. Other Business

8. Approval of Minutes

8.1 June 10, 2026, Committee of Adjustment Minutes

43

9. Adjournment

IN THE MATTER OF the *Planning Act, R.S.O., 1990, c.P. 13*, as amended, and Section 2.8.1 (a) (ii) (iii) of the City of Port Colborne Zoning By-law 6575/30/18 as amended;

AND IN THE MATTER OF the lands legally known as Plan 43, Lot 11, Lot 12, New Plan 802, in the City of Port Colborne, located in the Lakeshore Residential (LR) zone, municipally known as 3229 Firelane 10.

AND IN THE MATTER OF AN APPLICATION by the agent, Jamie McNay, on behalf of the owner, Joe and Janine Bellonte, for relief from the provisions of Zoning By-law 6575/30/18, as amended, under section 45 of the *Planning Act, R.S.O 1990 C.P 13*, to permit the construction of a new accessory structure, notwithstanding the following:

1. That an accessory building be permitted within the front yard, where the building is otherwise unpermitted to be located.
2. That a maximum accessory building height of 6.6m be permitted, whereas a maximum accessory building height of 6m is required.

Explanatory Relief from the Zoning By-law: The applicant is requesting permission to build a new, taller accessory building within the front yard, which requires a minor variance from the provisions of the Zoning By-law. A sketch of the proposed site plan is shown on the reverse side of this notice. More information, such as a higher resolution PDF version of the sketch, can be requested through the Secretary-Treasurer.

LOCATION MAP



PLEASE TAKE NOTICE that this application will be heard in-person and virtually by the Committee of Adjustment as shown below:

Date: July 8, 2026
Time: 6:00 p.m.
Location: 66 Charlotte Street – Third Floor Council Chambers and Virtually via Zoom

Additional information regarding this application is available for public inspection. An appointment can be scheduled in the office of the Planning and Development department, Monday to Friday, during the hours of 8:30 A.M. to 4:30 P.M., by telephone at (905)-228-8124 or through email at taya.taraba@portcolborne.ca to view the material.

PUBLIC HEARING: You are entitled to participate and express your views about this application, or you may be represented by counsel for that purpose. The Planning Division's report may be available for public inspection by **Friday, July 3, 2026**. If you are receiving this notice as the owner of land that contains multiple residential units, please post this in a location that is visible to all tenants.

Electronic Hearing Procedures
How to Get Involved in the Hearing

Anyone wishing to participate in the meeting can attend either virtually or in-person and is encouraged to submit a written submission that will be circulated to the Committee of Adjustment prior to the meeting. All comments submitted are part of the public record.

If anyone wishes to orally participate in the meeting, they must pre-register with the Secretary-Treasurer. **Written submissions and participation requests must be received by 12:00 p.m. on Tuesday, July 7, 2026**, by emailing taya.taraba@portcolborne.ca or by calling (905)-228-8124. Written submissions may also be submitted to the mail slot located in the front-left of City Hall; 66 Charlotte Street.

If you have any questions about the application(s) or submission process, please email taya.taraba@portcolborne.ca or call (905)-228-8124.

If you wish to be notified of the decision of the Committee of Adjustment in respect to this application, you must submit a written request to the Secretary-Treasurer.

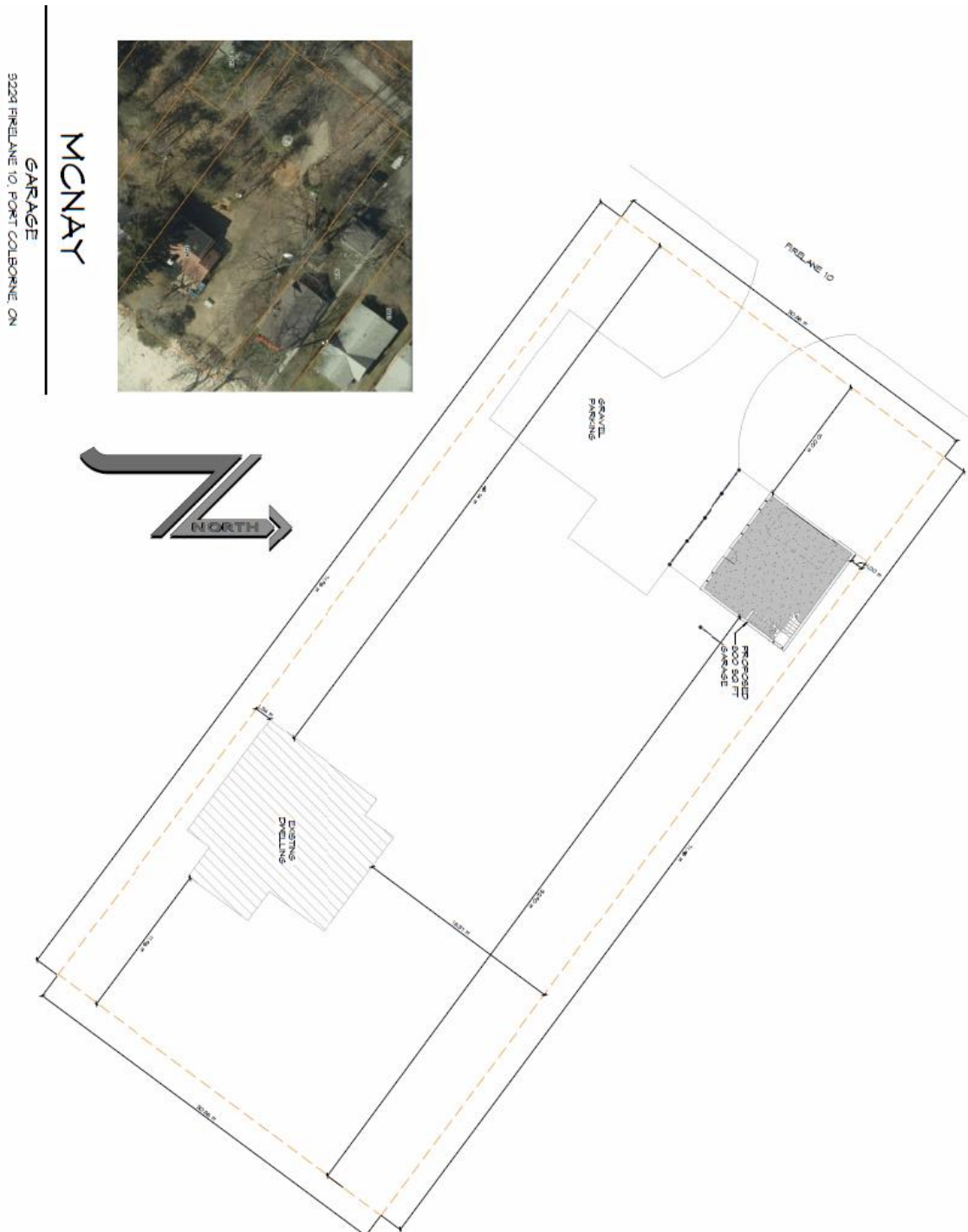
By order of the Committee of Adjustment,



Taya Taraba
Secretary-Treasurer

Date of Mailing: June 23, 2026

SKETCH



Planning and Development Department
Planning Division Report

July 8, 2026

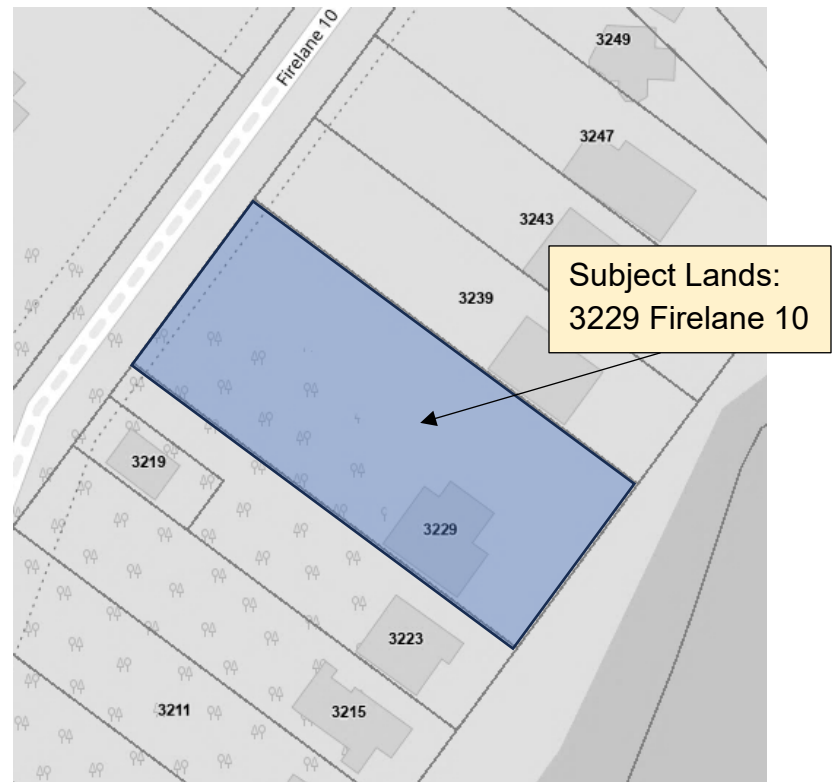
Secretary-Treasurer
Port Colborne Committee of Adjustment
66 Charlotte Street
Port Colborne, ON L3K 3C8

Re: Application for Minor Variance File No. A09-26-PC
3229 Firelane 10
Plan 43, Lot 11, Lot 12, New Plan 802, in the City of Port Colborne
Agent: Jamie McNay
Owners: Joe and Janine Bellonte

Proposal

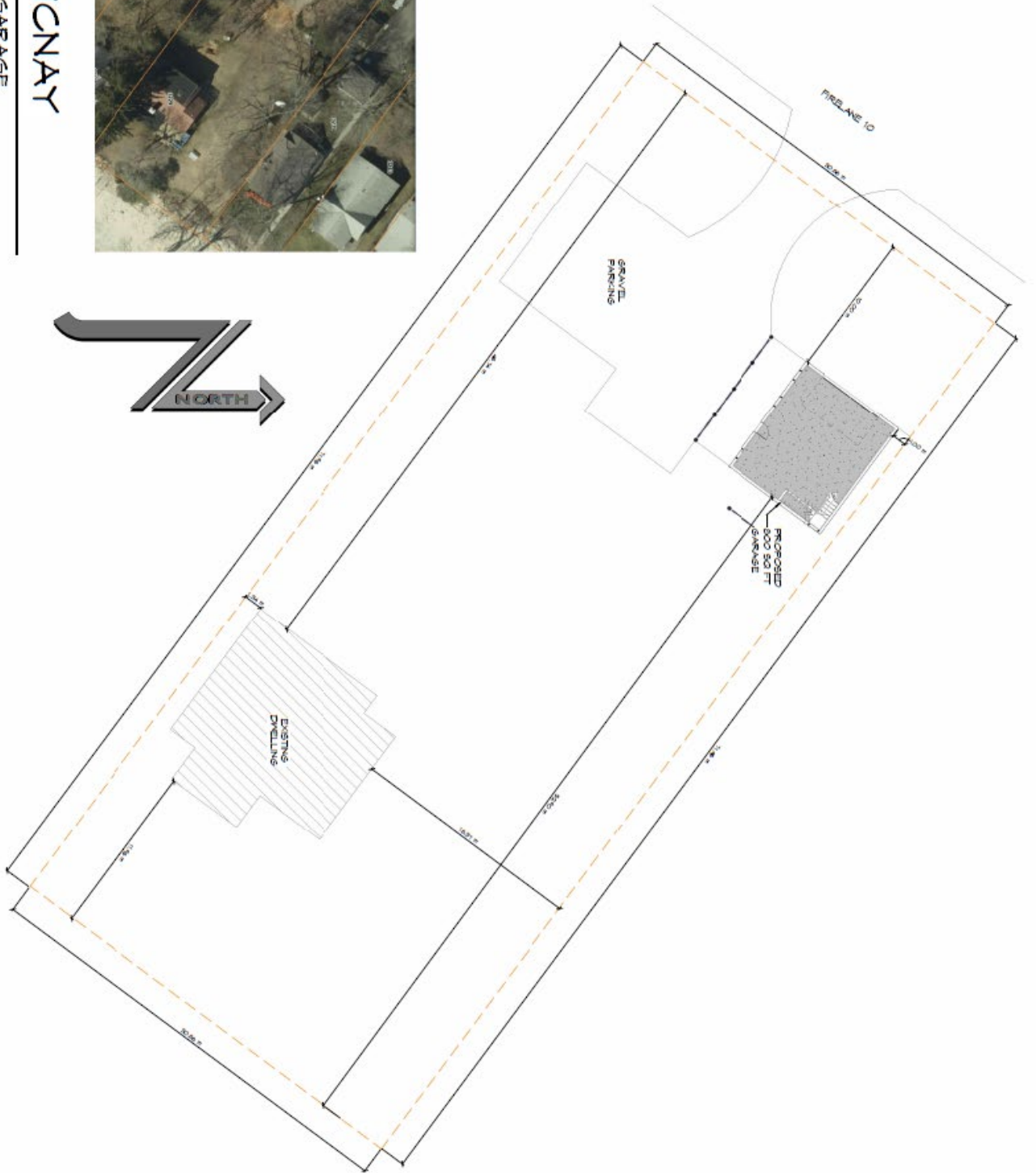
The purpose of this report is to provide a recommendation on a Minor Variance application for a lot at 3229 Firelane 10, legally described as Plan 43, Lot 11, Lot 12, New Plan 802, in the City of Port Colborne, (the Subject Lands), as shown in the image on the right hand side of this page.

The purpose of this application is to build a new accessory building, which requires a minor variance from the provisions of the Zoning By-law to permit that an accessory building be permitted within the front yard, where the building is otherwise unpermitted to be located; and that a maximum accessory building height of 6.6 metres be permitted, whereas a maximum accessory building height of 6 metres is required. The applicant's proposed site sketch for the accessory building location is shown on the following page.



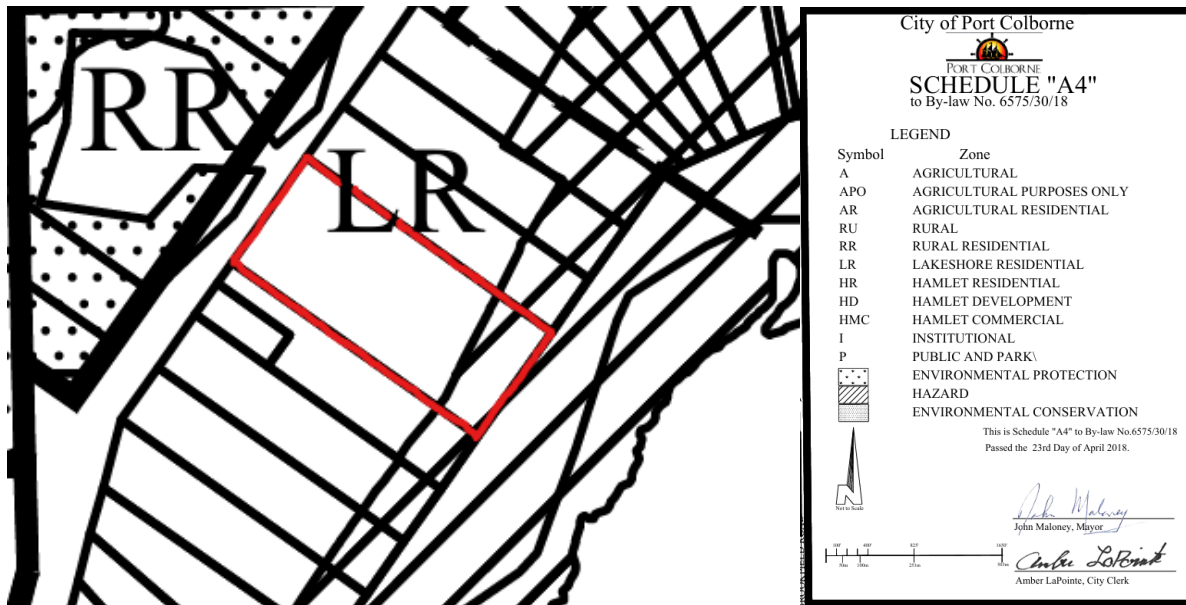
3229 FIRELANE 10, PORT COLBORNE, ON

MCNAY



Surrounding Land Uses and Zoning

The Subject Lands are zoned Lakeshore Residential (LR) with a Hazard (H) overlay, and have a lot area of approximately 2206.29 square metres and a lot frontage of approximately 30.66 metres along the south side of Firelane 10. The parcels surrounding the Subject Lands are primarily zoned Lakeshore Residential, while Rural Residential (RR) uses and an Environmental Conservation Area (ECA) exist to the north of the Subject Lands. The figure below shows the zoning of the subject lands.



Environmentally Sensitive Areas

The southern portion of the subject property is impacted by the Region's Natural Environment System (NES), consisting of Lake Erie's Shoreline Hazard Area. The proposed accessory building is located on the opposite side of the property, approximately 40 metres away from the Shoreline Hazard. Section 4.1.8.3 of the Niagara Region Official Plan (NOP) permits the continued development of the specific rural lands along the Lake Erie shoreline in accordance with local Official Plans and Zoning By-law provisions.

Public Comments

Notice was circulated on June 23, 2026, to properties within 60 metres of the subject lands, in accordance with the *Planning Act*. As of the time of writing this report, no comments from the public have been received.

Agency Comments

Notice of the application was circulated on June 9, 2026, to internal City departments and external agencies. As of the date of writing this report, the following comments have been received.

Commenter	Comments	Planning Staff Response
Drainage Superintendent	No objections	Noted
Fire Department	No objections	Noted
Engineering Technologist	No objections	Noted
Niagara Peninsula Conservation Authority	The subject property is impacted by the Lake Erie Shoreline Hazard. The provided plans show that the proposed location of the accessory building is outside of the Shoreline Hazard. As such, the NPCA is supportive of the proposed location of the accessory structure and has no objection to the proposed height.	Noted
Niagara Region	No objections to the proposed accessory building, provided no plumbing or living space is included.	Noted

Discussion

For a minor variance application to be approved, it must meet the four-part test outlined under section 45 (1) of the *Planning Act*. An analysis of the four tests follows for both variances:

- Variance 1: That an accessory building be permitted within the front yard, where the building is otherwise unpermitted to be located

Is the variance minor in nature?

The proposed accessory building is located further back from the lake than the main dwelling, which will reduce the visual impact on the yard facing the water. The neighbouring properties contain accessory structures similar in location to what is being proposed. Adding the proposed accessory structure in the front yard, within the existing context of accessory structure layouts on adjacent properties will help maintain the character of the neighbourhood, and further mitigate the impact of an accessory structure in the front yard. The closest parcel that is not adjacent is approximately 50 metres away from the proposed location of the accessory structure. This distance from parcels that do not contain similar structures, as well as the surrounding wooded areas, reduces the

likelihood of any compatibility concerns arising from the proposed location of the building in the front yard. As such, the variance is minor in nature.

Is the variance desirable for the appropriate development or use of the land, building, or structure?

The variance has been requested to facilitate the development of an accessory building on a property in the Lakeshore Residential Zone with a Shoreline Hazard overlay. The building is proposed to be located approximately 40 metres from the identified hazard. Locating the building in the front yard will maintain this distance while still meeting the required setbacks. The lot is larger than neighbouring lots that contain similarly located accessory structures; therefore, the proposed increase in accessory building height will provide the necessary functional storage for the property. The requested increase in the maximum height of the proposed accessory structure is desirable for the appropriate development of the subject lands.

Does the application maintain the general intent and purpose of the Zoning By-law?

The intent of the policy restricting front yard accessory structures is generally to address smaller lots, lots where the dwelling is located close to the road, or lots that front onto water. In these situations, accessory buildings located in the front yard are undesirable. Due to the presence of a common beach parcel abutting the southern portion of the Subject Lands, the front lot line is technically defined as Firelane 10. However, the property functions as a waterfront lot with frontage on Lake Erie. In the absence of the intervening beach parcel, the area currently defined as the rear yard would function as the front yard, similar to many other lots abutting the lake in Port Colborne. Therefore, the proposed accessory structure being located in the rear yard, maintains the character of the yard facing the water. Accordingly, this application maintains the general intent and purpose of the Zoning By-law.

Does the application maintain the general intent and purpose of the Official Plan?

The subject lands are within the Rural designation in the Official Plan. Buildings accessory to residential uses are permitted in the Rural designation. This application maintains the general intent and purpose of the City of Port Colborne Official Plan (OP).

- Variance 2: That a maximum accessory building height of 6.6 metres be permitted, whereas a maximum accessory building height of 6 metres is required.

Is the variance minor in nature?

The proposed accessory building is located further back from the lake than the main dwelling, which will reduce the visual impact of the increased height. Neighbouring properties to the east and further west of the Subject Lands contain accessory structures similar in scale and location to what is being proposed. The addition of the accessory

building within this existing context will further mitigate the visual impact of the increased height. The closest non-adjacent residential use is the parcel located north of the subject property, on the opposite side of Firelane 10, where the primary dwelling is located approximately 50 metres away from the proposed accessory building. This separation distance from parcels that do not contain similar structures, combined with the surrounding wooded areas, reduces the likelihood of any compatibility concerns arising from the proposed variance in height. As such, the variance is minor in nature.

Is the variance desirable for the appropriate development or use of the land, building, or structure?

The variance has been requested to facilitate the construction of an accessory building on a property zoned Lakeshore Residential with a Shoreline Hazard overlay. The proposed building is located on the opposite side of the property, approximately 40 metres from the identified hazard. The increased height will maintain this separation while still meeting the required setbacks, permitting the proper structural requirements to accommodate the functional storage and vehicle clearance desired by the owners. The requested increase in the maximum height of the proposed accessory structure is desirable for the appropriate development of the subject lands.

Does the application maintain the general intent and purpose of the Zoning By-law?

The intent of the maximum accessory building height is to prevent overdevelopment and ensure accessory structures remain accessory to the primary use of the lot. The proposed development maintains the general intent and purpose of this provision as the lot is large enough to accommodate a building of this height without appearing overdeveloped. Accordingly, this application maintains the general intent and purpose of the Zoning By-law.

Does the application maintain the general intent and purpose of the Official Plan?

The subject lands are within the Rural designation in the Official Plan. Buildings accessory to residential uses are permitted in the Rural designation. This application maintains the general intent and purpose of the City of Port Colborne Official Plan (OP).

Recommendation

Given the information above, Planning staff recommend that application A09-26-PC be **granted** for the following reasons:

- 1. The application is minor in nature.**
- 2. It is desirable for the appropriate development of the land.**
- 3. It maintains the general intent and purpose of the Zoning By-law.**

4. It maintains the general intent and purpose of the Official Plan.

Respectfully submitted,

Owen McDonnell
Planning Student

Kelly Martel
Planning Manager

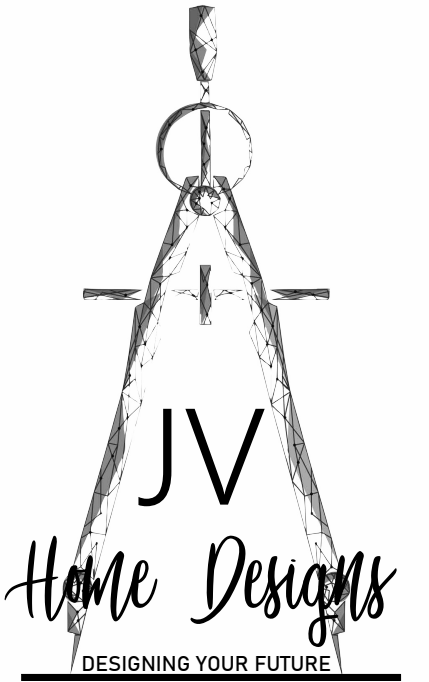
ISSUED FOR ~~BRIENT~~ REVIEW

NIAGARA PENINSULA CONSERVATION AUTHORITY

NO OBJECTION

FILE PLBPC202600586 DATE May 15, 2026

Nicholas Beatty



DESIGNING YOUR FUTURE

960 LORRAINE RD
PORT COLBORNE, ON, L3K 5V3
jvhomedesigns@gmail.com

QUALIFICATION INFORMATION

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.5.1. OF THE BUILDING CODE.

BRIAN BODORKOS
NAME
BRIAN BODORKOS 44769
SIGNATURE BCIN
JV HOME DESIGNS 111044
FIRM NAME BCIN



SEAL

REVISIONS

NO	DESCRIPTION	DATE
1		

MCNAY

GARAGE

3229 FIRELANE 10, PORT COLBORNE, ON

SCALE: As indicated

DRAWN BY: BB

PROJECT NUMBER:

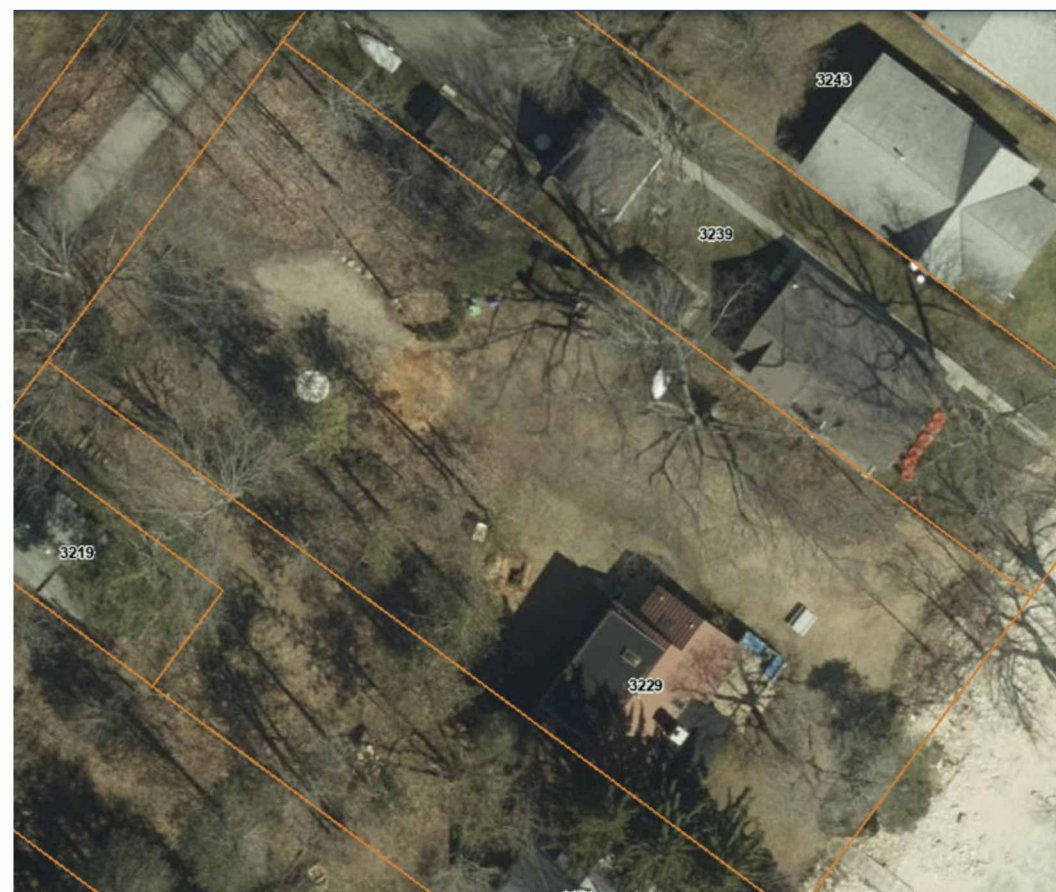
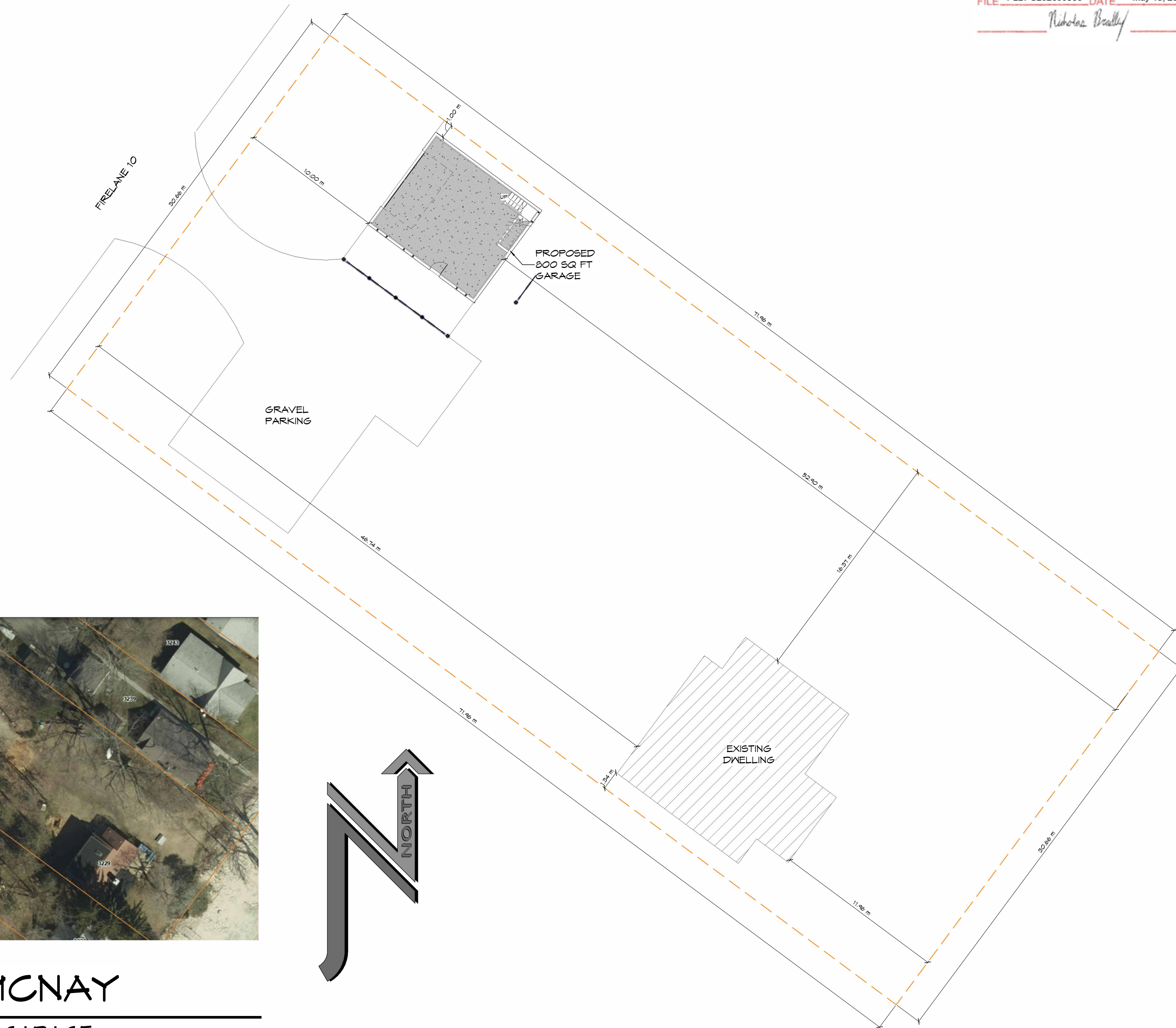
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DRAWING TITLE:

SITE PLAN

DRAWING NUMBER:

A1.0

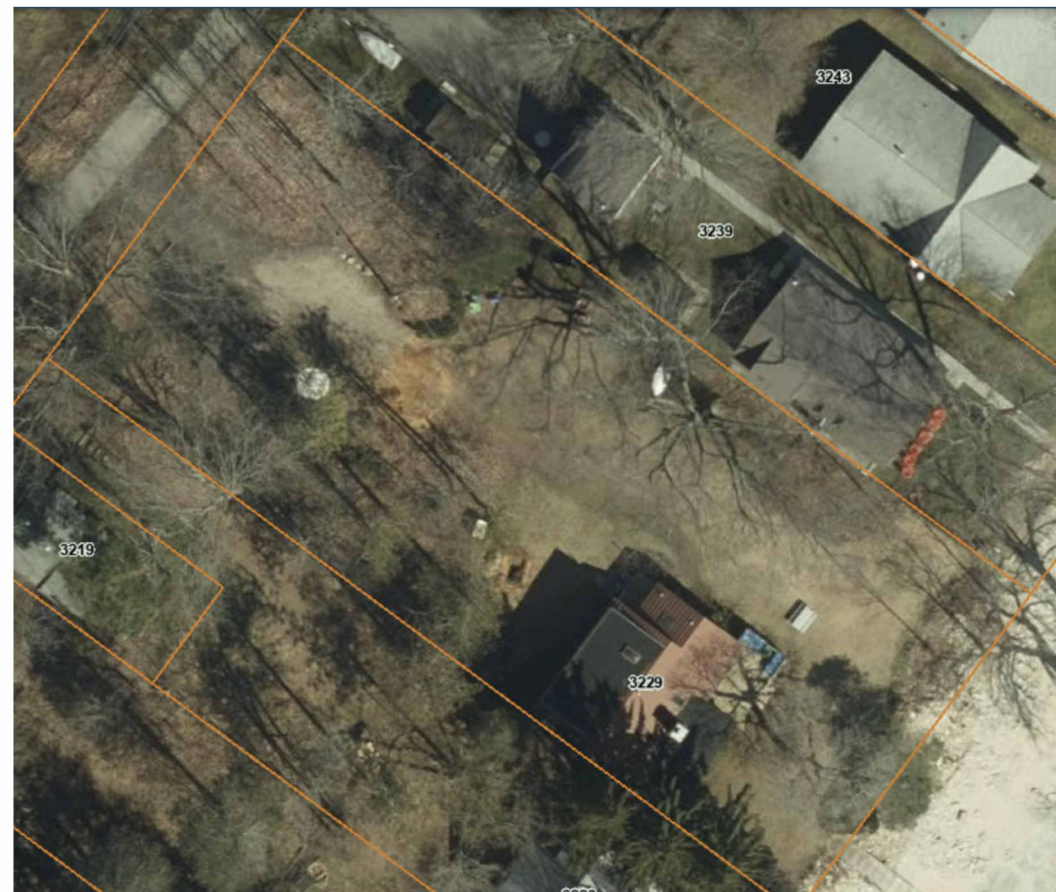
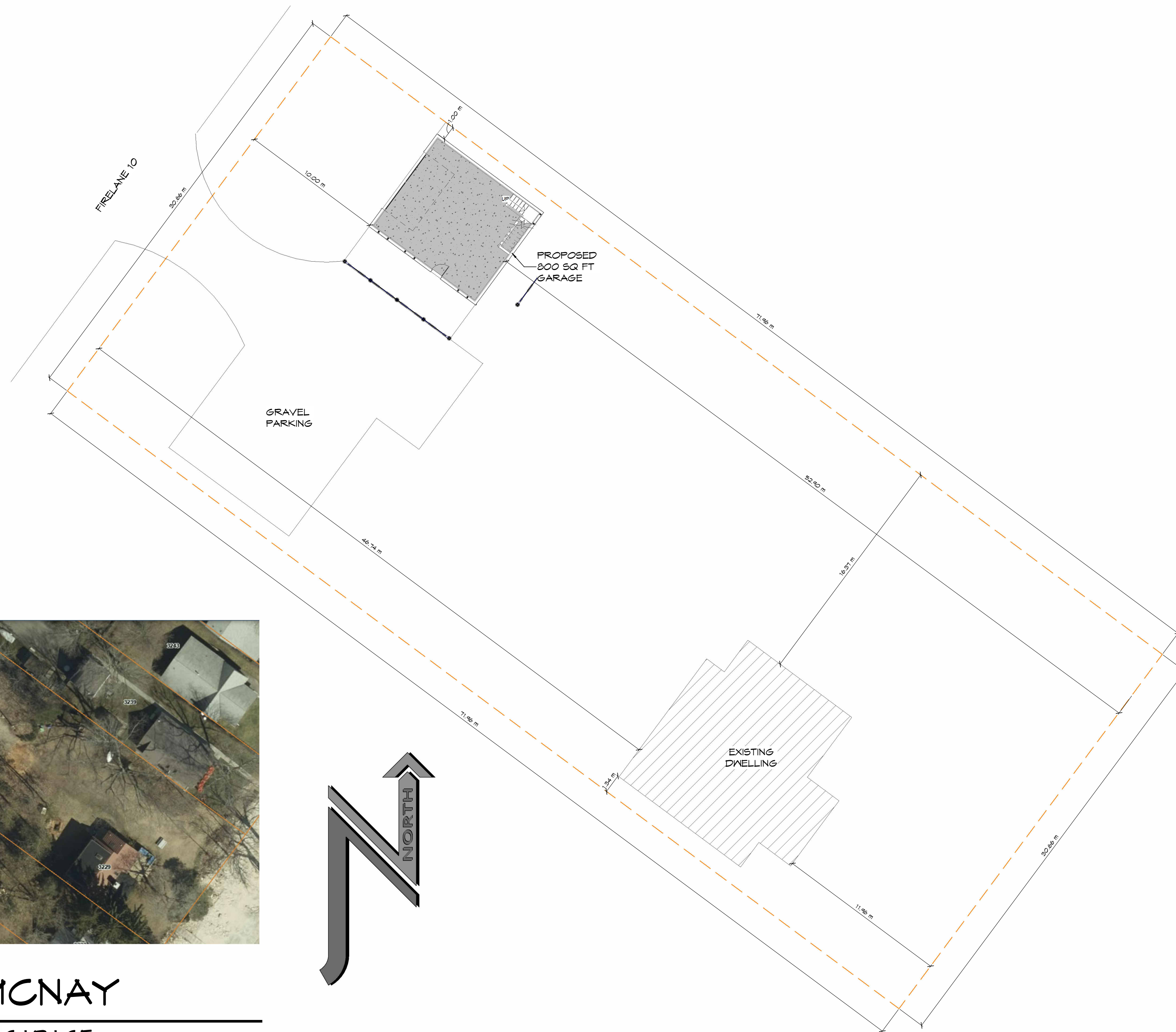


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3229 FIRELANE 10, PORT COLBORNE, ON

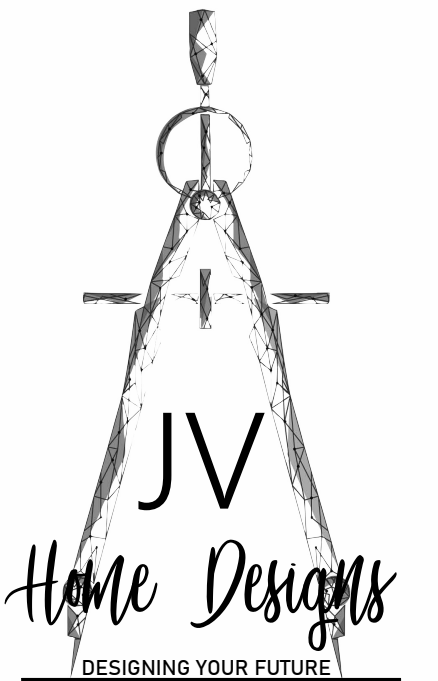
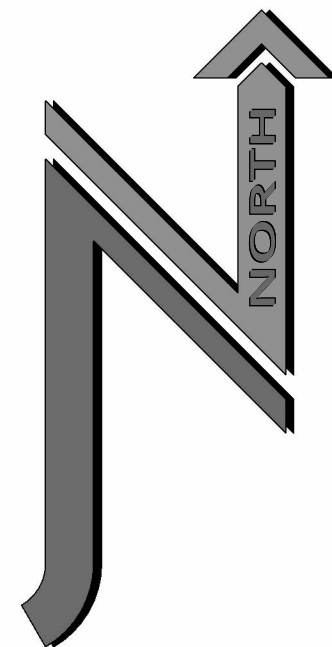
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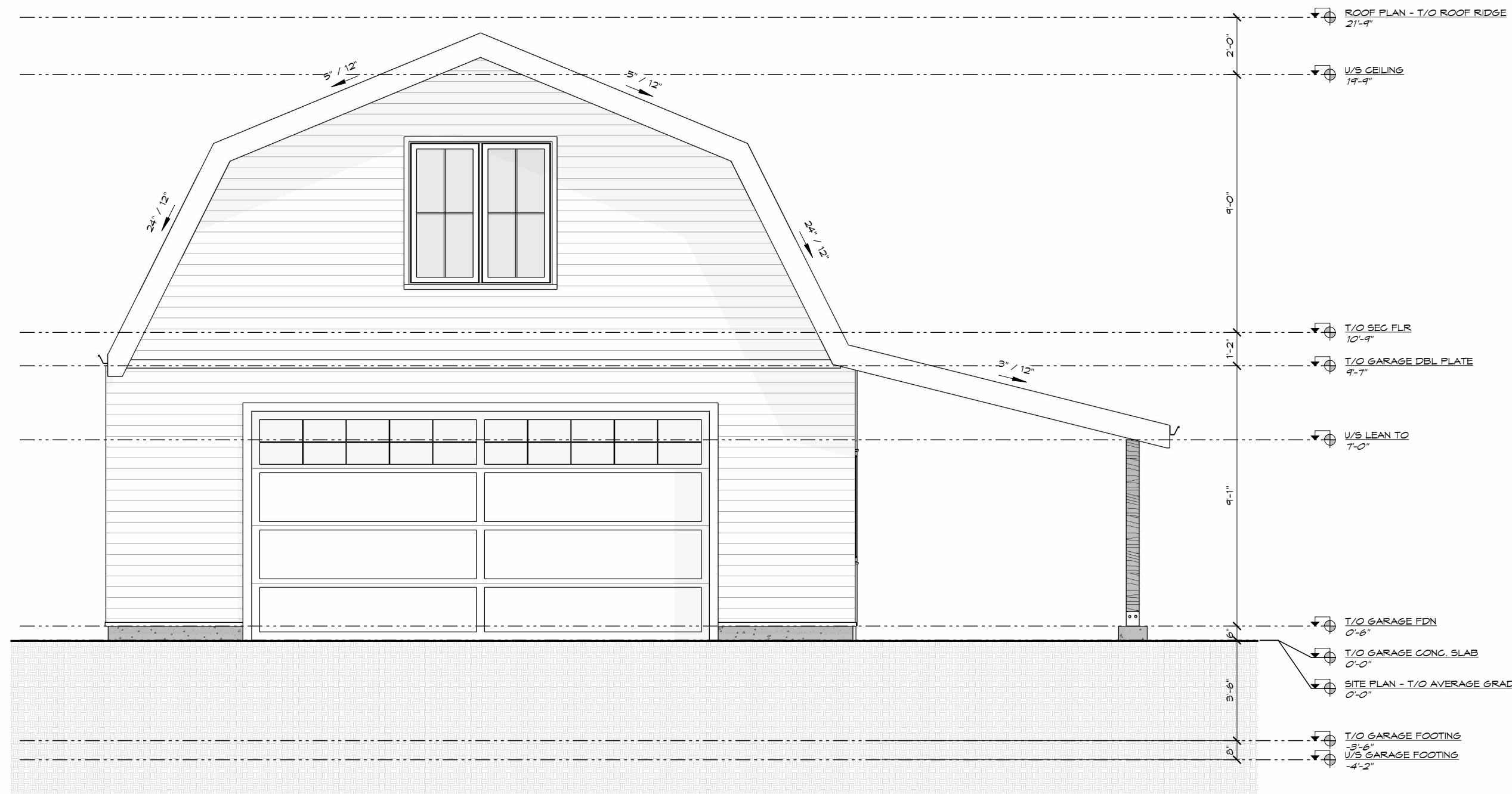
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DRAWING TITLE:

SITE PLAN

DRAWING NUMBER:

A1.0



2 FRONT ELEVATION.
A1.1 1/4" = 1'-0"

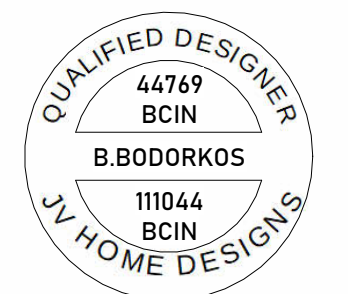


1 RIGHT ELEVATION.
A1.1 1/4" = 1'-0"

GENERAL ELEVATION NOTES:
(SEE ADDITIONAL SPECIFICATIONS IN GENERAL NOTES)
1. CONTRACTOR TO VERIFY ALL EXISTING GRADES ON SITE.
2. TOP OF FOUNDATION TO FINISHED GRADE TO BE A MIN. 6" AND SLOPE AWAY FROM HOUSE.
3. ALL EXTERIOR FINISHES, DETAILS, COLORS, AND STYLES TO BE CONFIRMED BY HOME OWNER.
4. CONTRACTOR TO CONFIRM STYLE OF WINDOWS AND DOORS PRIOR TO COMMENCEMENT OF WORK.
5. PROVIDE "ICE AND WATER SHIELD" LAYER OVER ROOF SLOPES OF 3/12 AND LESS, AND ALL VALLEYS.
6. ALL TRANSOM HEIGHTS TO BE CONFIRMED BY WINDOW MANUFACTURER.
7. WINDOW WELLS MAY BE REQUIRED DUE TO FINAL GRADE. PROVIDE KEEPER IN ALL WINDOW WELLS, FILL WITH 3/4" CLEAR STONE AND TO DRAIN TO FOOTING LEVEL.

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MCNAY
GARAGE
3224 FIRELANE 10, PORT COLBORNE, ON

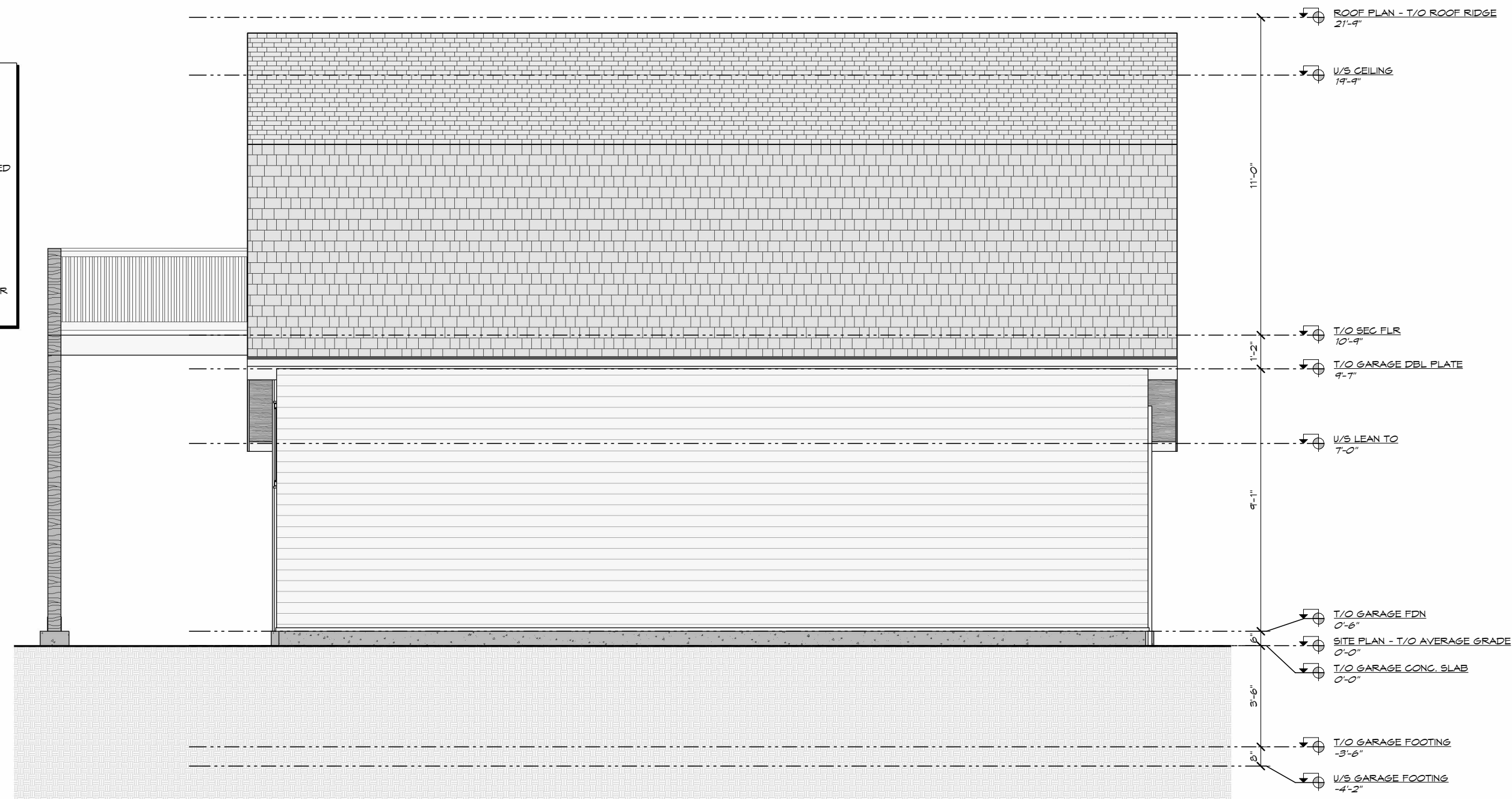
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DATE:

DRAWING TITLE:
ELEVATIONS

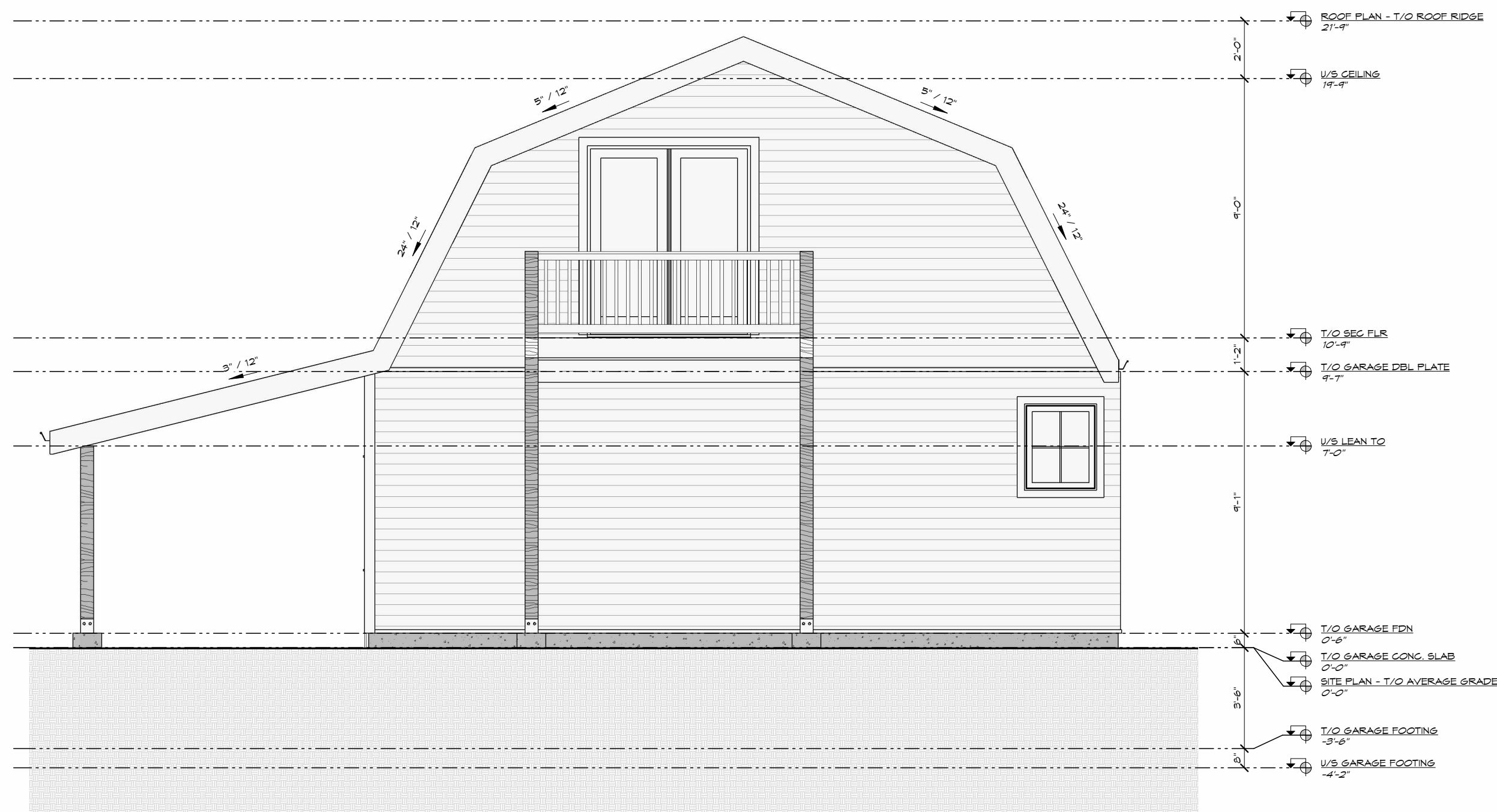
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GENERAL ELEVATION NOTES:

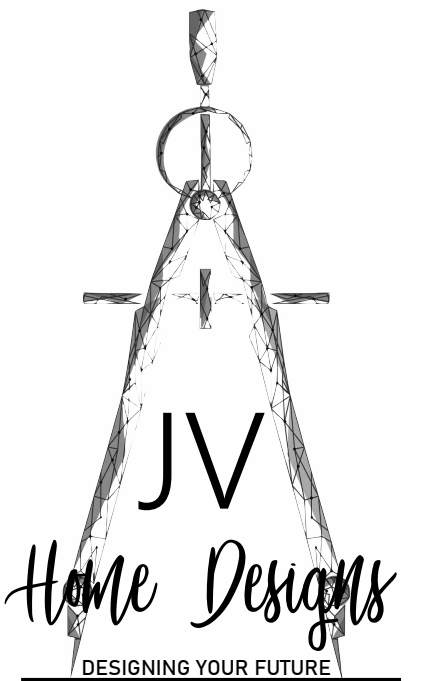
- (SEE ADDITIONAL SPECIFICATIONS IN "GENERAL NOTES")
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 3. ALL EXTERIOR FINISHES, DETAILS, COLORS, AND STYLES TO BE CONFIRMED BY HOME OWNER.
 4. CONTRACTOR TO CONFIRM STYLE OF WINDOWS AND DOORS PRIOR TO COMMENCEMENT OF WORK.
 5. PROVIDE "ICE AND WATER SHIELD" LAYER OVER ROOF SLOPES OF 3/12 AND LESS, AND ALL VALLEYS.
 6. ALL TRANSOM HEIGHTS TO BE CONFIRMED BY WINDOW MANUFACTURER.
 7. WINDOW WELLS MAY BE REQUIRED DUE TO FINAL GRADE. PROVIDE KEEPER IN ALL WINDOW WELLS, FILL WITH 3/4" CLEAR STONE AND TO DRAIN TO FOOTING LEVEL.



1 REAR ELEVATION
A1.2 1/4" = 1'-0"



2 RIGHT ELEVATION
A1.2 1/4" = 1'-0"

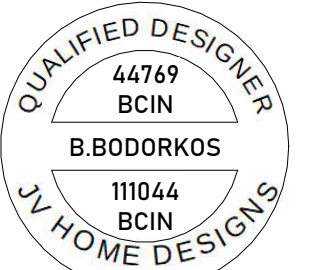


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3229 FIRELANE 10, PORT COLBORNE, ON

SCALE: 1/4" = 1'-0"

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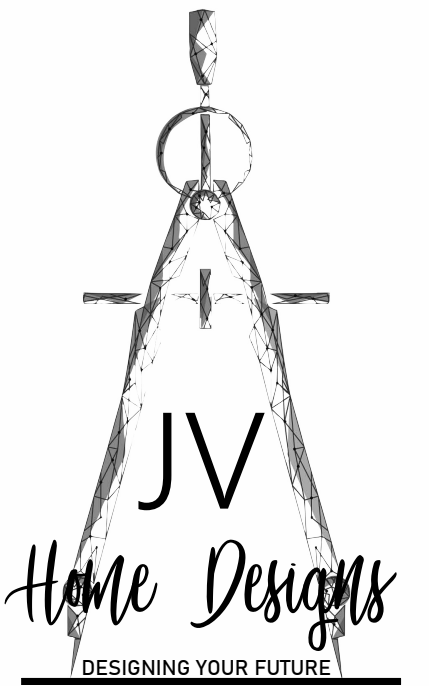
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ELEVATIONS

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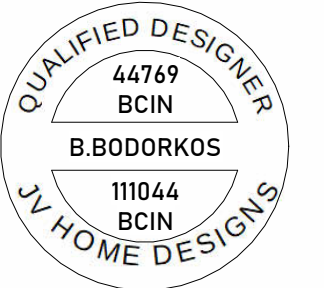


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SCALE: 1/4" = 1'-0"

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PROJECT NUMBER:

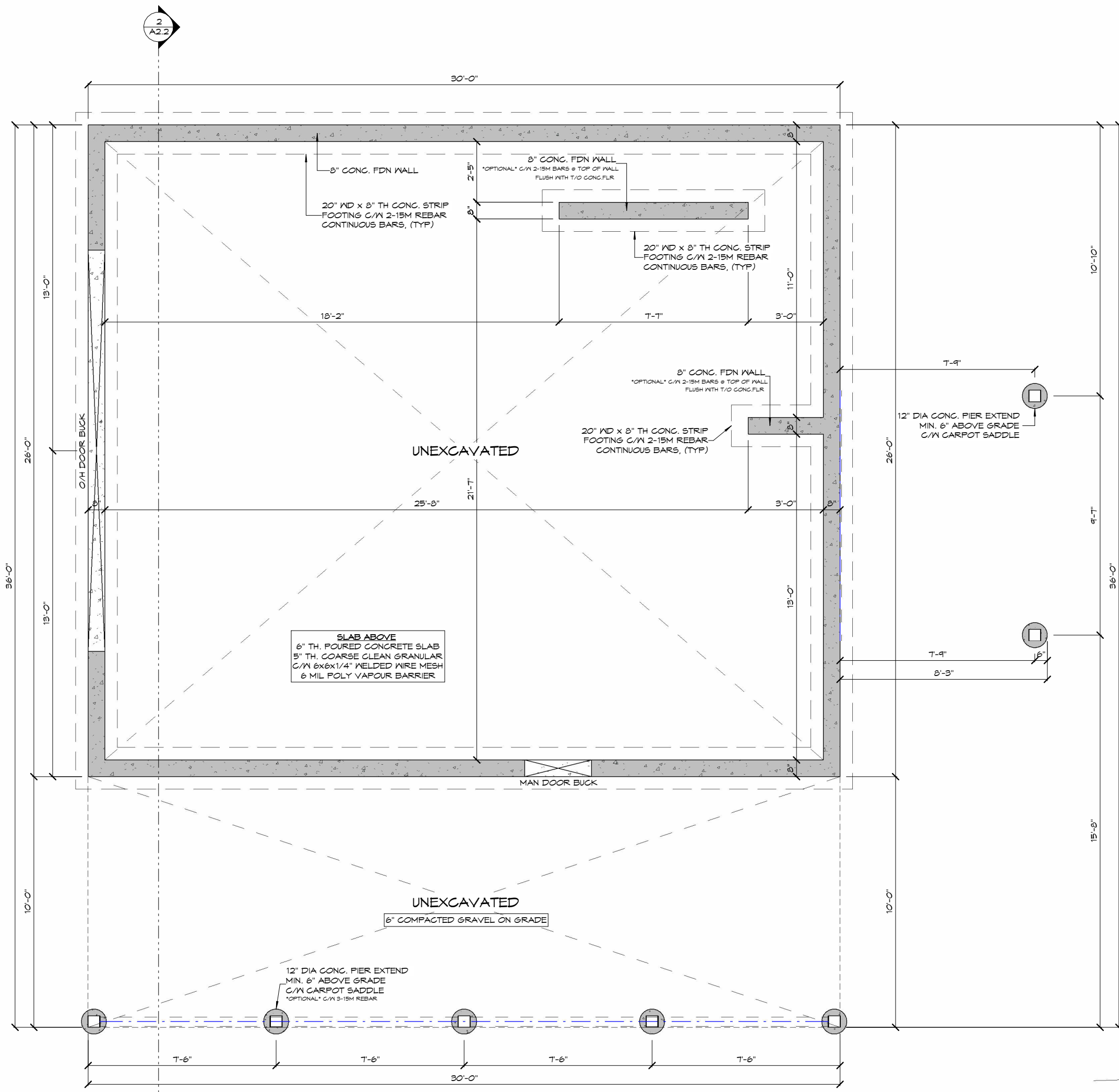
DATE:

DRAWING TITLE:

FLOOR PLANS

DRAWING NUMBER:

A2.1



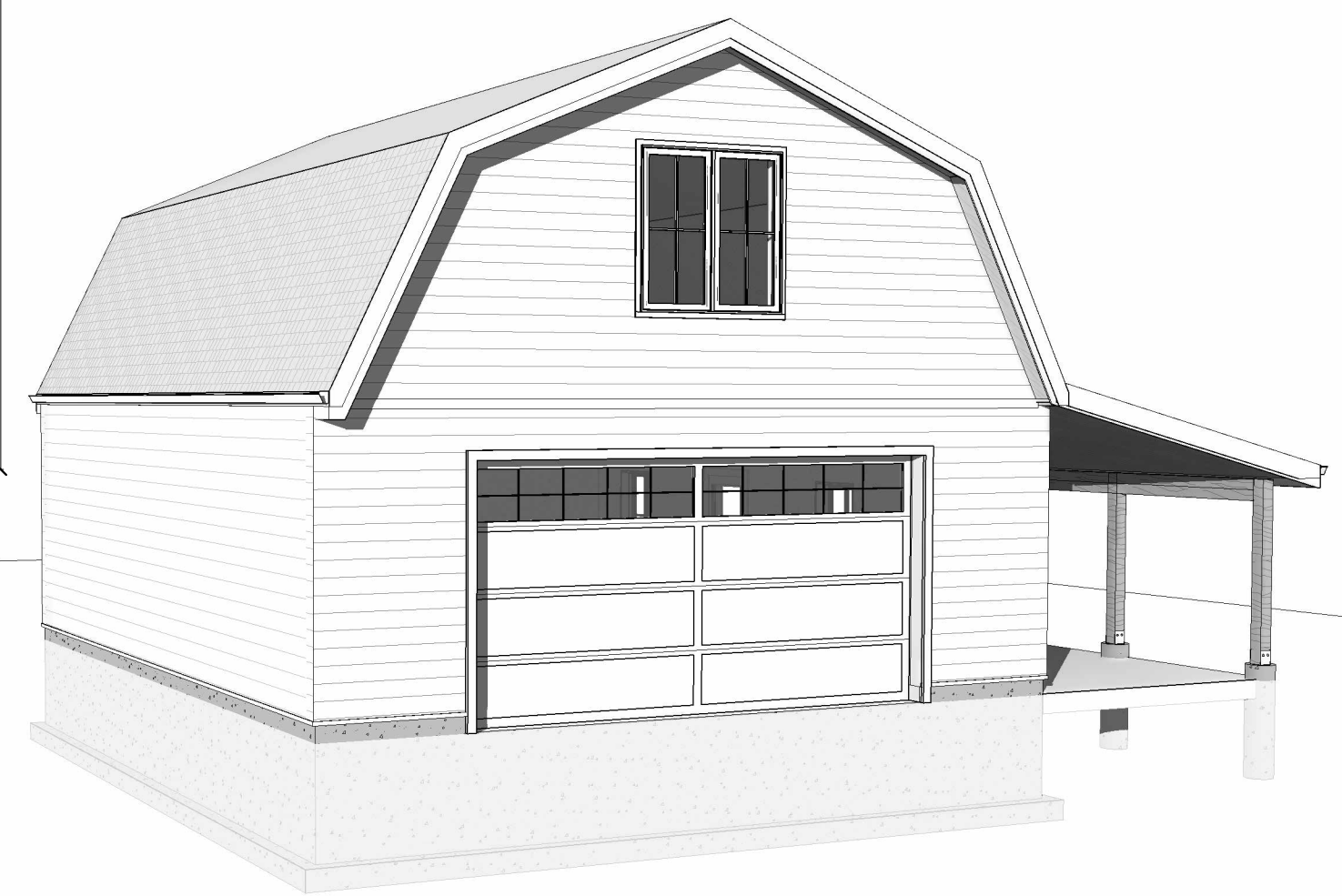
OPTIONAL
 ITEMS LABELED AS 'OPTIONAL' ARE 'NOT REQUIRED' AS PER THE ONTARIO BUILDING CODE. ALL OTHER ITEMS 'ARE REQUIRED' AS PER THE ONTARIO BUILDING CODE. ALTHOUGH RECOMMENDED BY THE DESIGNER, OPTIONAL UPGRADES CAN BE INSTALLED AT THE DISCRETION OF THE BUILDER/OWNER TO MEET PROJECT RESTRAINTS.

GENERAL FOUNDATION NOTES:

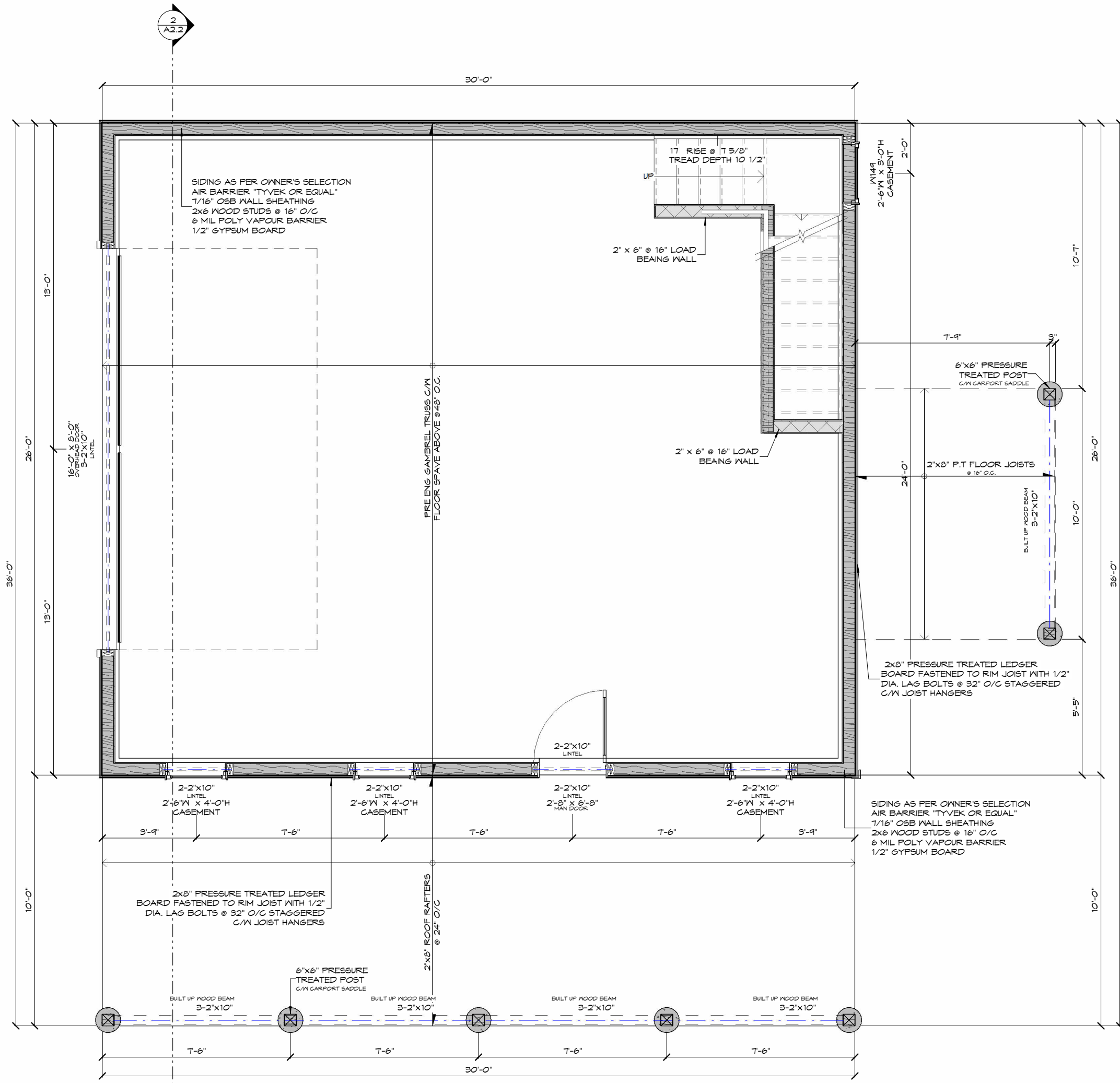
1. CONTRACTOR TO VERIFY ALL EXISTING GRADES ON SITE.
2. TOP OF FOUNDATION TO FINISHED GRADE TO BE A MIN. 6" AND SLOPE AWAY FROM BUILDING.
3. ALL FOOTINGS TO BEAR ON NATIVE UNDISTURBED SOIL AND BE A MINIMUM 4'-0" BELOW FINISHED GRADE. SOIL BEARING CAPACITY TO BE A MINIMUM OF 3000 PSF.
4. REMOVE ALL TOP-SOIL AND ORGANIC MATERIAL PRIOR TO EXCAVATION.
5. ALL PRE-ENGINEERED WOOD, HEADERS, BEAMS, COLUMNS, AND WOOD IS TO BE SIZED BY SUPPLIER.
6. ALL BASEMENT WINDOWS ARE TO BE "POURED IN PLACE".
7. WINDOW WELLS MAY BE REQUIRED DUE TO FINAL GRADE. BUILDER TO CONFIRM ON SITE.
8. ALL INTERIOR & EXTERIOR STAIRS TO CONFORM WITH O.B.C. 9.3.2.2. MIN. HEADROOM TO BE 6'-8" MEASURED FROM EDGE OF NOSING TO CEILING.
9. ALL CONCRETE TO HAVE ULTIMATE COMPRESSIVE STRENGTH @ 28 DAYS OF:
 - 20 MPA FOR FOOTINGS AND WALLS
 - 32 MPA FOR GARAGE FLOORS AND ALL EXTERIOR CONCRETE WITH 3%-5% AIR ENTRAINMENT.

SYMBOL LEGEND

- INTERCONNECTED SMOKE ALARM & CO2 DETECTOR, SMOKE ALARMS TO HAVE A 7 DAY BATTERY BACKUP (9.10.14)
- RANGEHOOD WITH EXHAUST FAN TO OUTSIDE
- EXHAUST FAN TO OUTSIDE
- DRAIN WATER HEAT RECOVERY UNIT AS PER SB-12, 3.1.1.1(22)
- ELECTRIC VEHICLE CHARGING STATION AS PER O.B.C. 9.34.4.1(B)
- FROST-PROOF AUTOMATIC SELF-DRAINING WALL HYDRANTS



1 T/O GARAGE FDN
 A2.1 1/4" = 1'-0"



1 T/O GARAGE CONC. SLAB
A2.2 1/4" = 1'-0"

OPTIONAL
ITEMS LABELED AS "OPTIONAL" ARE "NOT REQUIRED" AS PER THE ONTARIO BUILDING CODE. ALL OTHER ITEMS "ARE REQUIRED" AS PER THE ONTARIO BUILDING CODE. ALTHOUGH RECOMMENDED BY THE DESIGNER, OPTIONAL UPGRADES CAN BE INSTALLED AT THE DISCRETION OF THE BUILDER/OWNER TO MEET PROJECT RESTRAINTS.

- GENERAL NOTES:**
1. ALL FLOOR FRAMING TO BE PRE-ENGINEERED FLOOR JOISTS PER SUPPLIER UNLESS NOTED OTHERWISE.
 2. ALL ROOF FRAMING TO BE PRE-ENGINEERED ROOF TRUSSES PER SUPPLIER UNLESS NOTED OTHERWISE.
 3. SEE SUPPLIER ENGINEERING DATA FOR ALL PRE-ENGINEERED MOOD, HEADERS, BEAMS, COLUMNS, AND MOOD IS.
 4. ROOF SUPPLIER TO PROVIDE LINTEL SUPPORT OVER OPENINGS WHERE ROOF TRUSS SPANS EXCEED 9.8M (32'-2") IN ACCORDANCE WITH O.B.C. 9.23.12.3.
 5. ALL EXTERIOR CONCRETE TO BE MINIMUM 32 MPA WITH 5%-8% AIR ENTRAINMENT.
 6. ALL INTERIOR & EXTERIOR STAIRS TO CONFORM WITH O.B.C. 9.8.2, AND HAVE A MINIMUM HEADROOM OF 6'-8" WITHIN DWELLING UNITS.
 7. ALL HANDRAILS AND GUARDS TO BE INSTALLED AS PER O.B.C. 9B-1, AND CONFORM WITH O.B.C. 9.8.7. TWO HANDRAILS ARE TO BE INSTALLED ON ALL STAIRS OVER 3'-1" WIDE.

- SYMBOL LEGEND**
- INTERCONNECTED SMOKE ALARM & CO2 DETECTOR. SMOKE ALARMS TO HAVE A 7 DAY BATTERY BACKUP (9.10.14)
 - RANGEHOOD WITH EXHAUST FAN TO OUTSIDE
 - EXHAUST FAN TO OUTSIDE
 - DRAIN WATER HEAT RECOVERY UNIT AS PER 9B-12, 9.1.1.1(22)
 - ELECTRIC VEHICLE CHARGING STATION AS PER O.B.C. 9.34.4.1(3)
 - FROST-PROOF AUTOMATIC SELF-DRAINING WALL HYDRANTS

960 LORRAINE RD
PORT COLBORNE, ON, L3K 5V3
jvhomedesigns@gmail.com

QUALIFICATION INFORMATION
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER REQUIRED UNLESS DESIGN IS EXEMPT UNDER 9.2.5.1 OF THE BUILDING CODE.

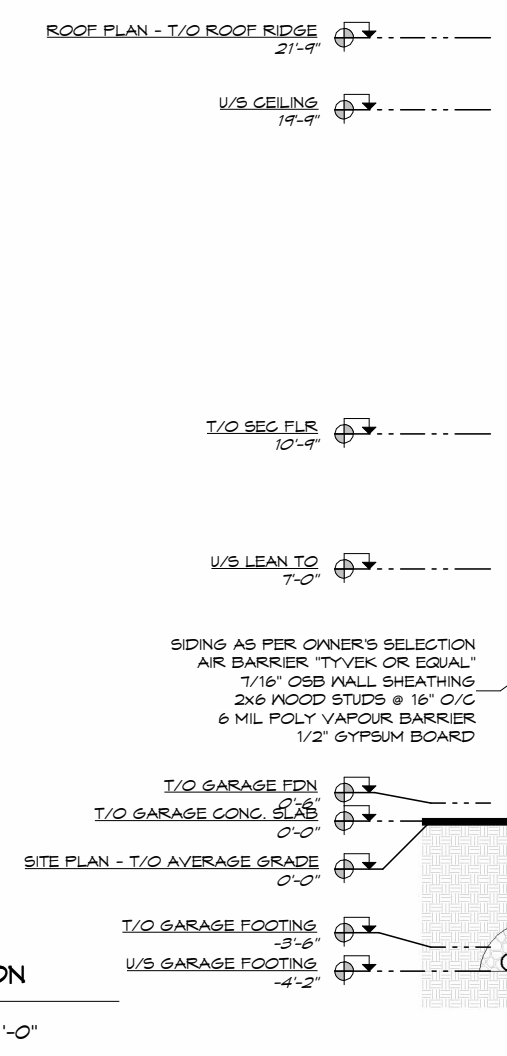
BRIAN BODORKOS
NAME
BRIAN BODORKOS 44769
SIGNATURE BCIN
JV HOME DESIGNS 111044
FIRM NAME BCIN



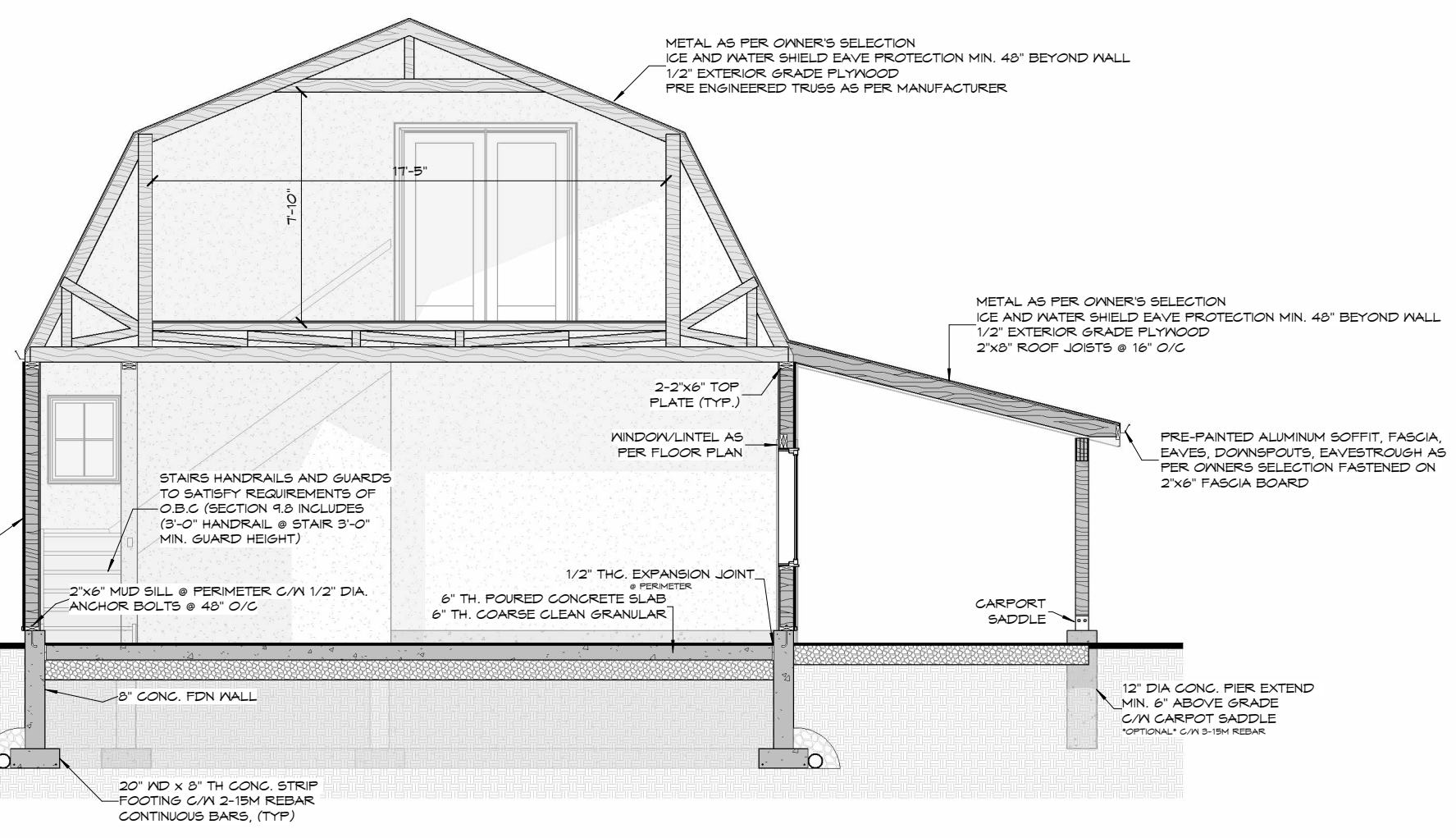
SEAL

REVISIONS		
NO.	DESCRIPTION	DATE
1		

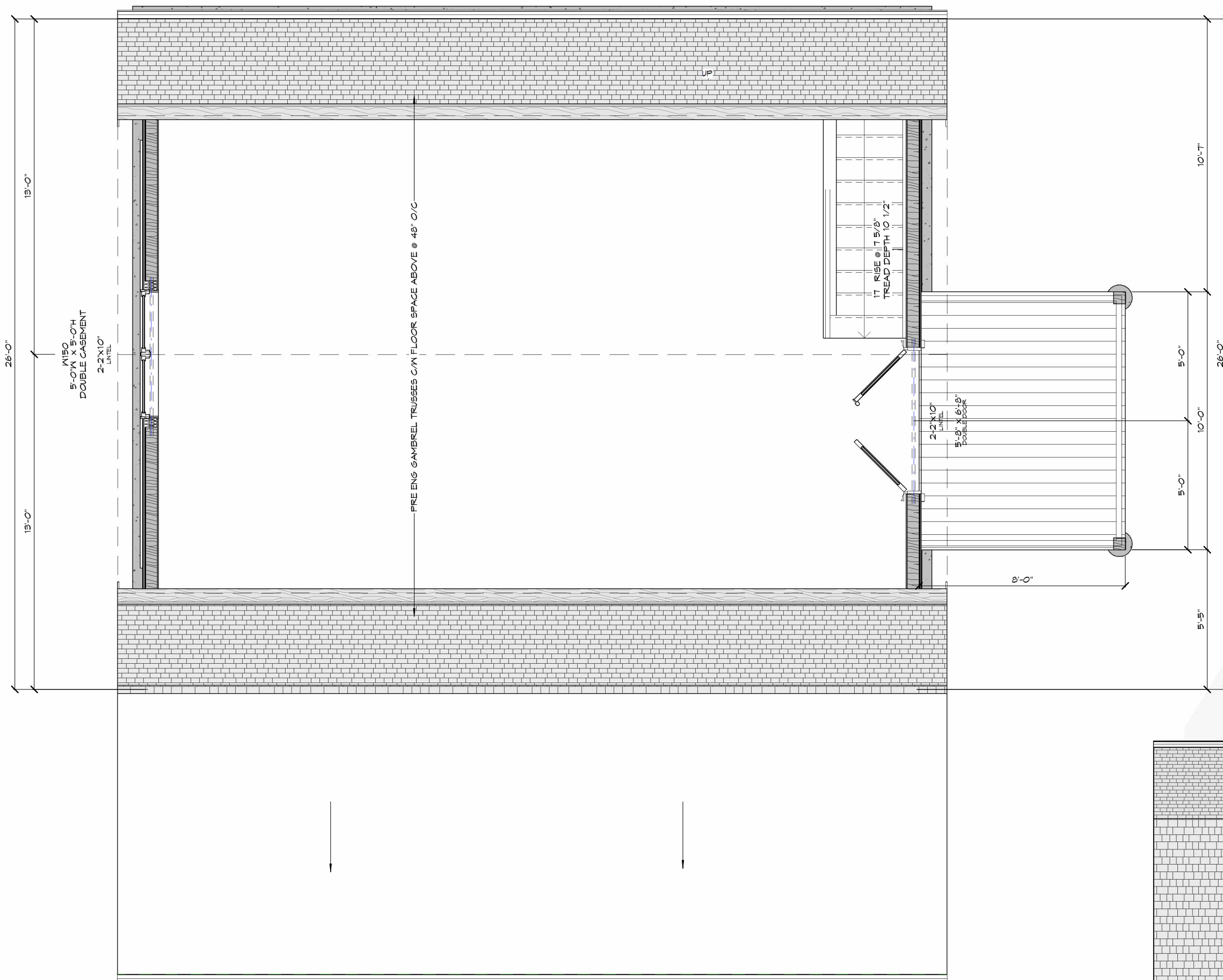
MCNAY
GARAGE
3229 FIRELANE 10, PORT COLBORNE, ON



2 SECTION
A2.2 3/16" = 1'-0"



SCALE: As indicated
DRAWN BY: BB
PROJECT NUMBER:
DATE:
DRAWING TITLE:
FLOOR PLANS
DRAWING NUMBER:
A2.2



GENERAL NOTES:

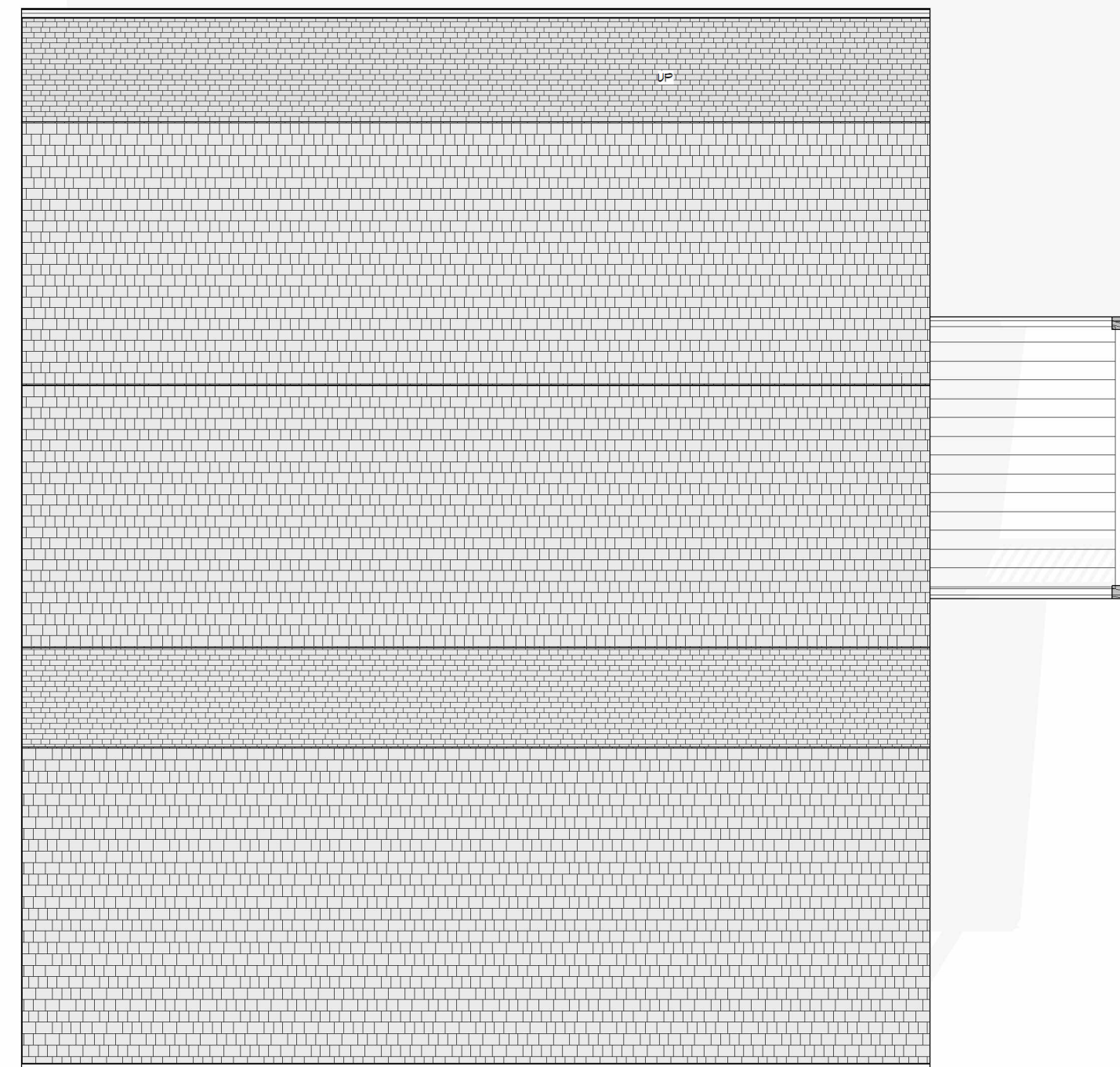
1. ALL FLOOR FRAMING TO BE PRE-ENGINEERED FLOOR JOISTS PER SUPPLIER UNLESS NOTED OTHERWISE.
2. ALL ROOF FRAMING TO BE PRE-ENGINEERED ROOF TRUSSES PER SUPPLIER UNLESS NOTED OTHERWISE.
3. SEE SUPPLIER ENGINEERING DATA FOR ALL PRE-ENGINEERED ROOF, HEADERS, BEAMS, COLUMNS, AND FLOOR JOISTS.
4. ROOF SUPPLIER TO PROVIDE INTEL SUPPORT OVER OPENINGS WHERE ROOF TRUSS SPANS EXCEED 9.8M (32'-2") IN ACCORDANCE WITH CBC 9.23.12.3.
5. ALL EXTERIOR CONCRETE TO BE MINIMUM 32 MPA WITH 5%-8% AIR ENTRAINMENT.
6. ALL INTERIOR & EXTERIOR STAIRS TO CONFORM WITH O.B.C. 9.8.2. AND HAVE A MINIMUM HEADROOM OF 6'-8" WITHIN DWELLING UNITS.
7. ALL HANDRAILS AND GUARDS TO BE INSTALLED AS PER O.B.C. 9.8.1. AND CONFORM WITH O.B.C. 9.8.7. TWO HANDRAILS ARE TO BE INSTALLED ON ALL STAIRS OVER 3'-7" WIDE.

SYMBOL LEGEND

- INTERCONNECTED SMOKE ALARM & CO2 DETECTOR, SMOKE ALARMS TO HAVE A 7 DAY BATTERY BACKUP (9.10.14)
- RANGEHOOD WITH EXHAUST FAN TO OUTSIDE
- EXHAUST FAN TO OUTSIDE
- DRAIN WATER HEAT RECOVERY UNIT AS PER SB-12, 3.1.1.1(22)
- ELECTRIC VEHICLE CHARGING STATION AS PER O.B.C. 9.34.4.1(5)
- FROST-PROOF AUTOMATIC SELF-DRAINING WALL HYDRANTS

OPTIONAL

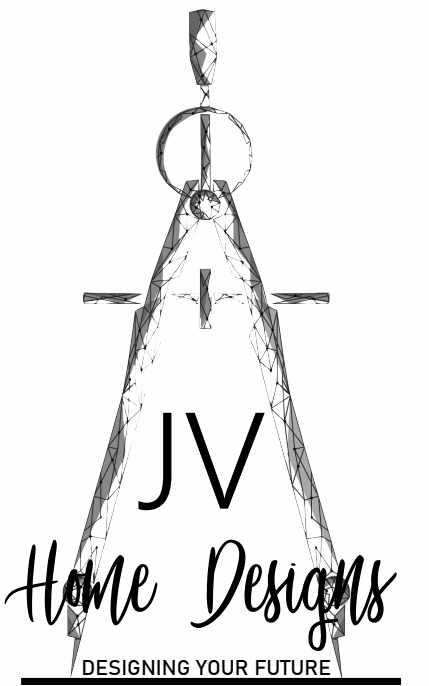
ITEMS LABELED AS *OPTIONAL* ARE *NOT REQUIRED* AS PER THE ONTARIO BUILDING CODE. ALL OTHER ITEMS *ARE REQUIRED* AS PER THE ONTARIO BUILDING CODE. ALTHOUGH RECOMMENDED BY THE DESIGNER, OPTIONAL UPGRADES CAN BE INSTALLED AT THE DISCRETION OF THE BUILDER/OWNER TO MEET PROJECT RESTRAINTS.



1 T/O GARAGE DBL PLATE
A2.3 1/4" = 1'-0"



2 ROOF PLAN - T/O ROOF RIDGE
A2.3 3/16" = 1'-0"



DESIGNING YOUR FUTURE
960 LORRAINE RD
PORT COLBORNE, ON, L3K 5V3
jvhomedesigns@gmail.com

QUALIFICATION INFORMATION

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.5.1 OF THE BUILDING CODE.

BRIAN BODORKOS
NAME
BRIAN BODORKOS 44769
SIGNATURE BCIN
JV HOME DESIGNS 111044
FIRM NAME BCIN



SEAL

REVISIONS

NO.	DESCRIPTION	DATE
1		

MCNAY

GARAGE

3229 FIRELANE 10, PORT COLBORNE, ON

SCALE: As indicated

DRAWN BY: BB

PROJECT NUMBER:

DATE:

DRAWING TITLE:

FLOOR PLAN

DRAWING NUMBER:

A2.3



PORT COLBORNE

PLANNING AND DEVELOPMENT DEPARTMENT

COMMITTEE OF ADJUSTMENT NOTICE OF PUBLIC HEARING Minor Variance Application File No. A10-26-PC

IN THE MATTER OF the *Planning Act, R.S.O., 1990, c.P. 13*, as amended, and Section 2.8.1 (a) (ii) of the City of Port Colborne Zoning By-law 6575/30/18 as amended;

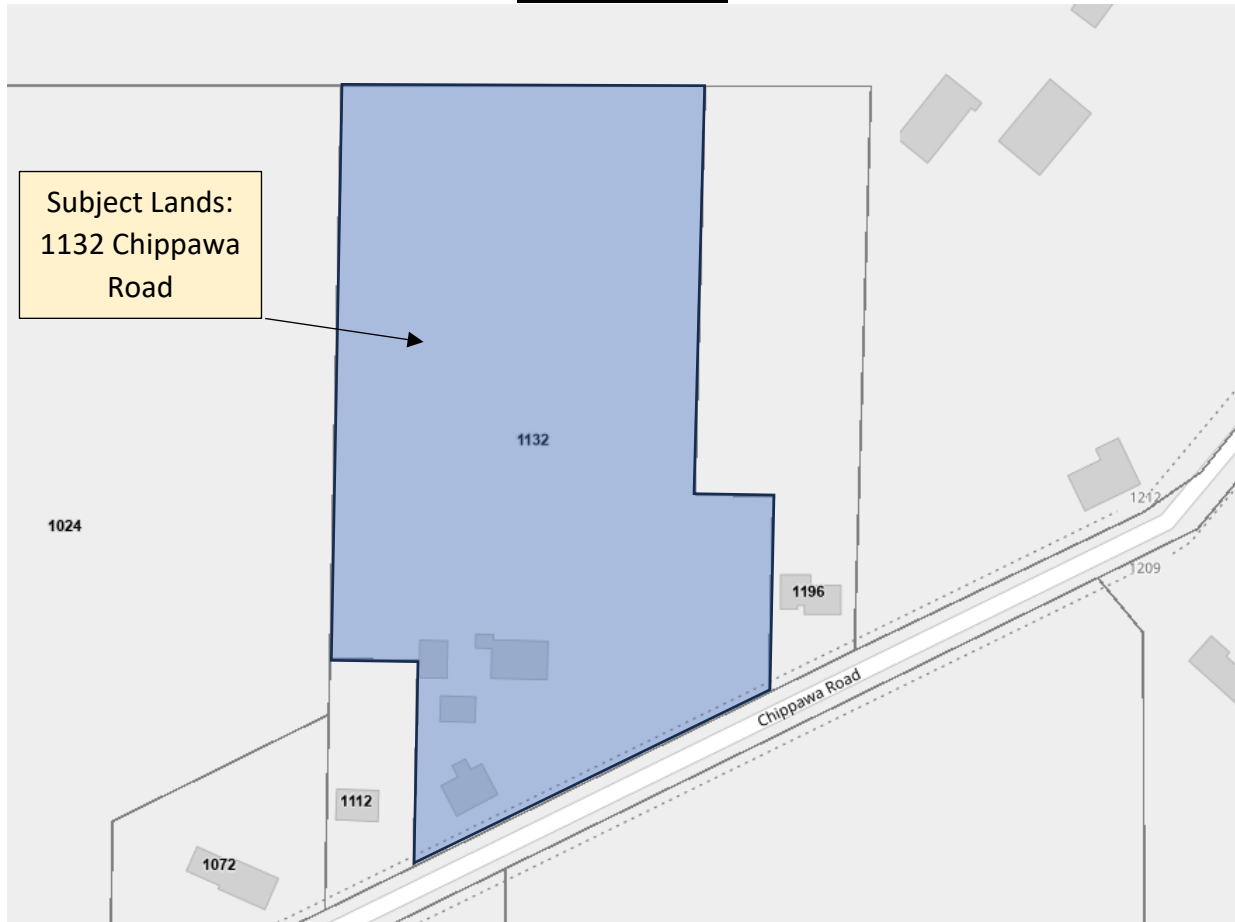
AND IN THE MATTER OF the lands legally known as Concession 3, Part Lot 20, in the City of Port Colborne, located in the Agricultural (A) zone, municipally known as 1132 Chippawa Road.

AND IN THE MATTER OF AN APPLICATION by the agent, Reid Ackland, on behalf of the owner, David Fijauz, for relief from the provisions of Zoning By-law 6575/30/18, as amended, under section 45 of the *Planning Act, R.S.O. 1990 c.P. 13*, to permit the construction of a new accessory structure, notwithstanding the following:

1. That a maximum accessory building height of 7.35m be permitted, whereas a maximum accessory building height of 6m is required.

Explanatory Relief from the Zoning By-law: The applicant is requesting permission to build a new, taller accessory building within the back yard, which requires a minor variance from the provisions of the Zoning By-law. A sketch of the proposed site plan is shown on the reverse side of this notice. More information, such as a higher resolution PDF version of the sketch, can be requested through the Secretary-Treasurer.

LOCATION MAP



PLEASE TAKE NOTICE that this application will be heard in-person and virtually by the Committee of Adjustment as shown below:

Date: July 8, 2026
Time: 6:00 p.m.
Location: 66 Charlotte Street – Third Floor Council Chambers and Virtually via Zoom

Additional information regarding this application is available for public inspection. An appointment can be scheduled in the office of the Planning and Development department, Monday to Friday, during the hours of 8:30 A.M. to 4:30 P.M., by telephone at (905)-228-8124 or through email at taya.taraba@portcolborne.ca to view the material.

PUBLIC HEARING: You are entitled to participate and express your views about this application, or you may be represented by counsel for that purpose. The Planning Division’s report may be available for public inspection by **Friday, July 3, 2026**. If you are receiving this notice as the owner of land that contains multiple residential units, please post this in a location that is visible to all tenants.

**Electronic Hearing Procedures
How to Get Involved in the Hearing**

Anyone wishing to participate in the meeting can attend either virtually or in-person and is encouraged to submit a written submission that will be circulated to the Committee of Adjustment prior to the meeting. All comments submitted are part of the public record.

If anyone wishes to orally participate in the meeting, they must pre-register with the Secretary-Treasurer. **Written submissions and participation requests must be received by 12:00 p.m. on Tuesday, July 7, 2026**, by emailing taya.taraba@portcolborne.ca or by calling (905)-228-8124. Written submissions may also be submitted to the mail slot located in the front-left of City Hall; 66 Charlotte Street.

If you have any questions about the application(s) or submission process, please email taya.taraba@portcolborne.ca or call (905)-228-8124.

If you wish to be notified of the decision of the Committee of Adjustment in respect to this application, you must submit a written request to the Secretary-Treasurer.

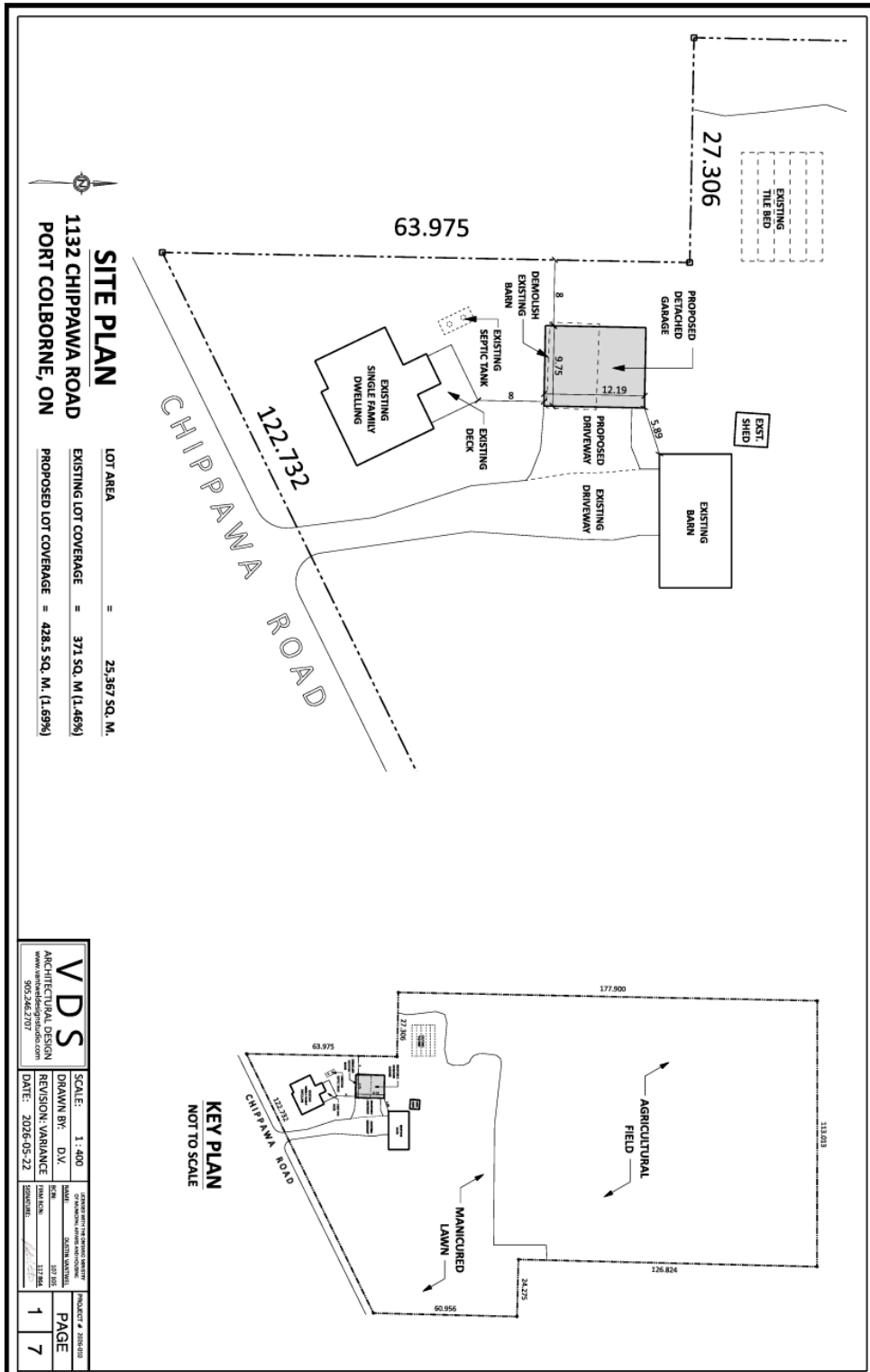
Taya Taraba

By order of the Committee of Adjustment,

Taya Taraba
Secretary-Treasurer

Date of Mailing: June 23, 2026

SKETCH



Planning and Development Department
Planning Division Report

July 8, 2026

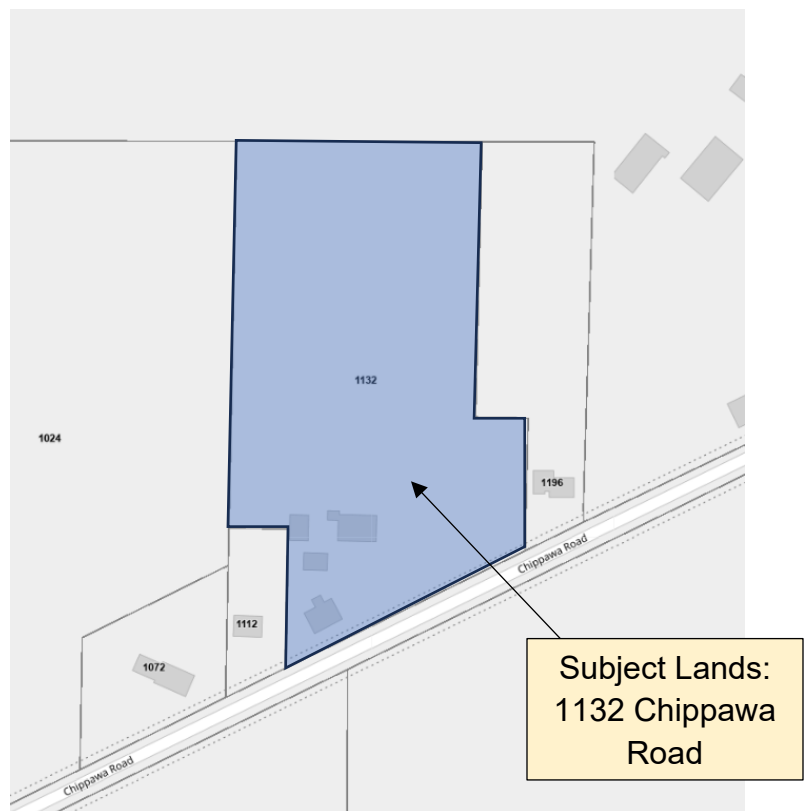
Secretary-Treasurer
Port Colborne Committee of Adjustment
66 Charlotte Street
Port Colborne, ON L3K 3C8

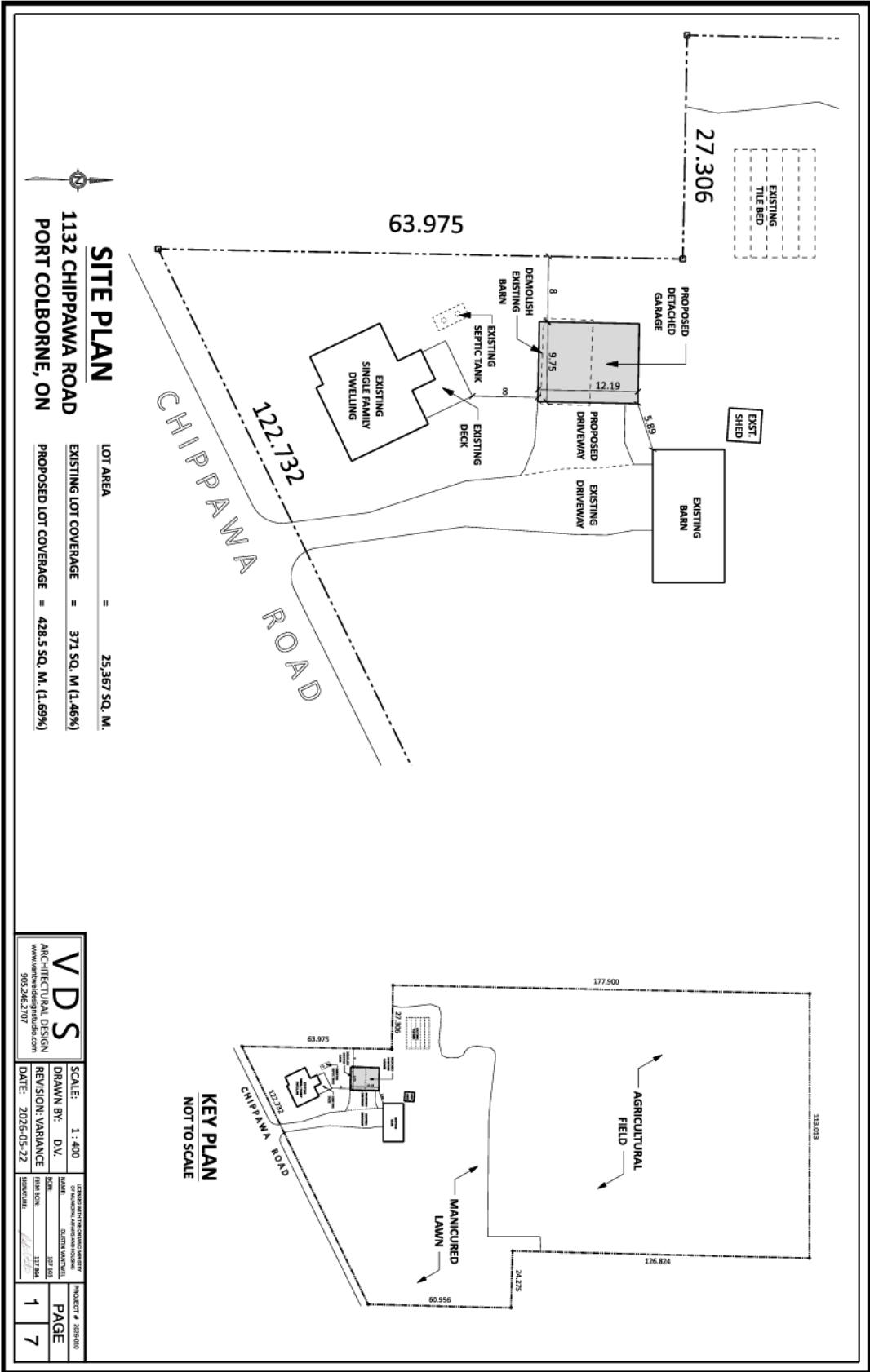
Re: Application for Minor Variance File No. A10-26-PC
1132 Chippawa Road
Concession 3, Part Lot 20, in the City of Port Colborne
Agent: Reid Ackland
Owners: David Fijavz

Proposal

The purpose of this report is to provide a recommendation on a Minor Variance application for a lot at 1132 Chippawa Road, legally described as Concession 3, Part Lot 20, in the City of Port Colborne, (the Subject Lands), as shown in the image on the right hand side of this page.

The purpose of this application is to build a new accessory building in the back yard, which requires a minor variance from the provisions of the Zoning By-law to permit that a maximum accessory building height of 7.35 metres be permitted, whereas a maximum accessory building height of 6 metres is required. The applicant's proposed site sketch for the accessory building location is shown on the following page.

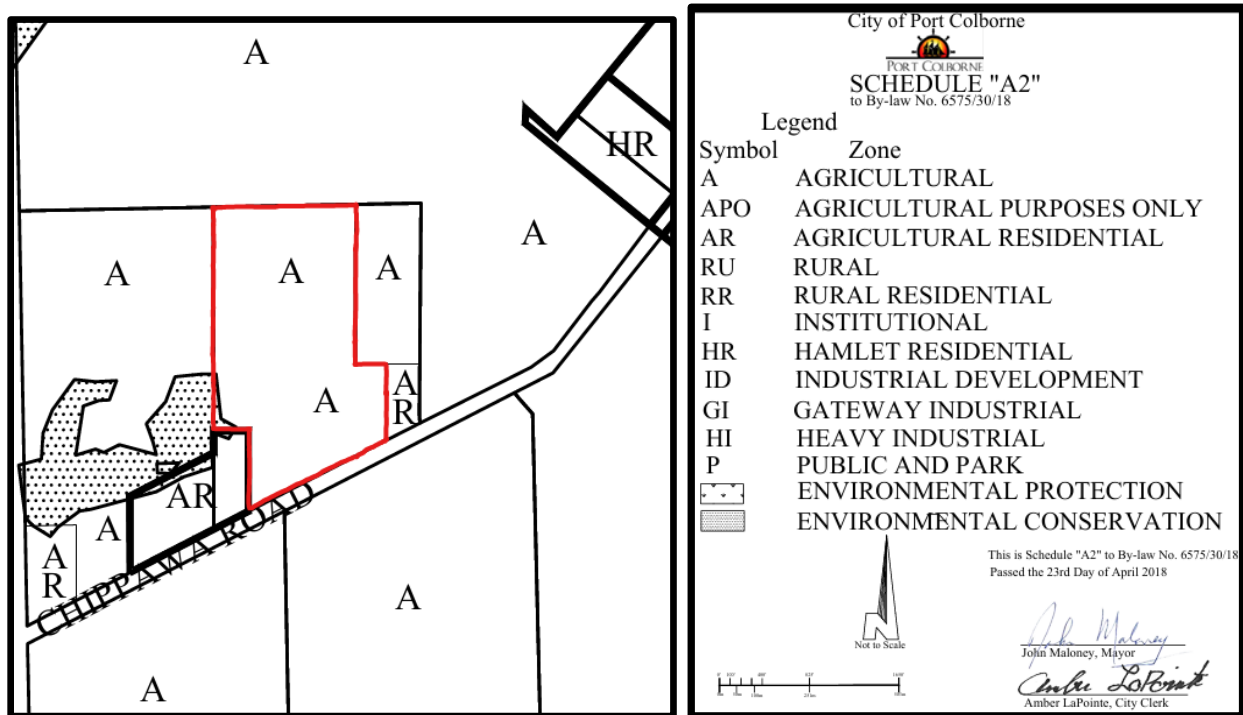




VDS ARCHITECTURAL DESIGN 3905-2485-2707	SCALE: 1 : 400	PROJECT # 2026010
	DRAWN BY: D.V.	PAGE
DATE: 2026-05-22	REVISION: VARIANCE	7
DATE: 2026-05-22	REVISION: VARIANCE	7

Surrounding Land Uses and Zoning

The Subject Lands are zoned Agricultural (A) with an Environmental Conservation Area (ECA) overlay, and have a lot area of approximately 25,367 square metres and a lot frontage of approximately 122.732 metres along the north side of Chippawa Road. The parcels surrounding the Subject Lands are primarily zoned Agricultural (A) and Agricultural Residential (AR), while Hamlet Residential (HR) uses exist further northeast of the Subject Lands. The figure below shows the zoning of the subject lands.



Environmentally Sensitive Areas

The eastern portion of the subject property is impacted by the Region's Natural Environment System (NES), consisting of Non-Provincially Significant Other Wetlands. The proposed accessory building is located approximately 28.5 metres away from the Other Wetlands.

Public Comments

Notice was circulated on June 23, 2026, to properties within 60 metres of the subject lands, in accordance with the *Planning Act*. As of the time of writing this report, no comments from the public have been received.

Agency Comments

Notice of the application was circulated on June 9, 2026, to internal City departments and external agencies. As of the date of writing this report, the following comments have been received.

Commenter	Comments	Planning Staff Response
Drainage Superintendent	No objections	Noted
Fire Department	No objections	Noted
Engineering Technologist	No objections	Noted
Niagara Peninsula Conservation Authority	The subject property contains possible unevaluated wetlands along its west lot line. The provided plans show that the proposed accessory structure is to replace an existing building in a built-up area of the property. As such, the NPCA is supportive of the proposed location of the accessory structure and has no objection to the proposed height.	Noted
Niagara Region	No objections provided that no fixtures units, bedrooms, or living space are included in the accessory building.	Noted

Discussion

For a minor variance application to be approved, it must meet the four-part test outlined under section 45 (1) of the *Planning Act*. An analysis of the four tests follows.

- That a maximum accessory building height of 7.35 metres be permitted, whereas a maximum accessory building height of 6 metres is required.

Is the variance minor in nature?

The proposed accessory building is located further back from the road than the main dwelling, which will reduce the visual impact of the increased height. The immediate surrounding land uses are primarily agricultural fields and residences, which will reduce the likelihood of any negative impacts to surrounding parcels. The closest residence is approximately 30 metres to the west of the proposed structure. The provided application shows that the proposed accessory building is to replace an existing building in the same built up area of the property. This distance from neighbouring structures and the surrounding agricultural fields, combined with the reuse of the accessory building location, reduce the chance of any compatibility concerns arising from the proposed variance in height. As such, the variance is minor in nature.

Is the variance desirable for the appropriate development or use of the land, building, or structure?

The variance has been requested to facilitate the construction of an accessory building on a property zoned Agricultural with a small Environmental Conservation Area (ECA) overlay, which typically features larger accessory buildings. The proposed accessory structure is to replace an existing building approximately 28.5 metres away from the identified overlay. The increased height will maintain this separation while providing the current owners a garage and a second-floor storage area they seek, which could serve a future agricultural operation. The requested increase in the maximum height of the proposed accessory structure is desirable for the appropriate development of the subject lands.

Does the application maintain the general intent and purpose of the Zoning By-law?

The intent of the maximum accessory building height is to prevent overdevelopment and ensure accessory structures remain accessory to the primary use of the lot. The proposed development maintains the general intent and purpose of this provision as the lot is large enough to accommodate a building of this height without appearing overdeveloped. The proposed accessory building is a replacement to an accessory building in the same location. Accordingly, this application maintains the general intent and purpose of the Zoning By-law.

Does the application maintain the general intent and purpose of the Official Plan?

The subject lands are within the Agricultural designation in the Official Plan. Buildings accessory to residential uses are permitted in the Agricultural designation. This application maintains the general intent and purpose of the City of Port Colborne Official Plan (OP).

Recommendation

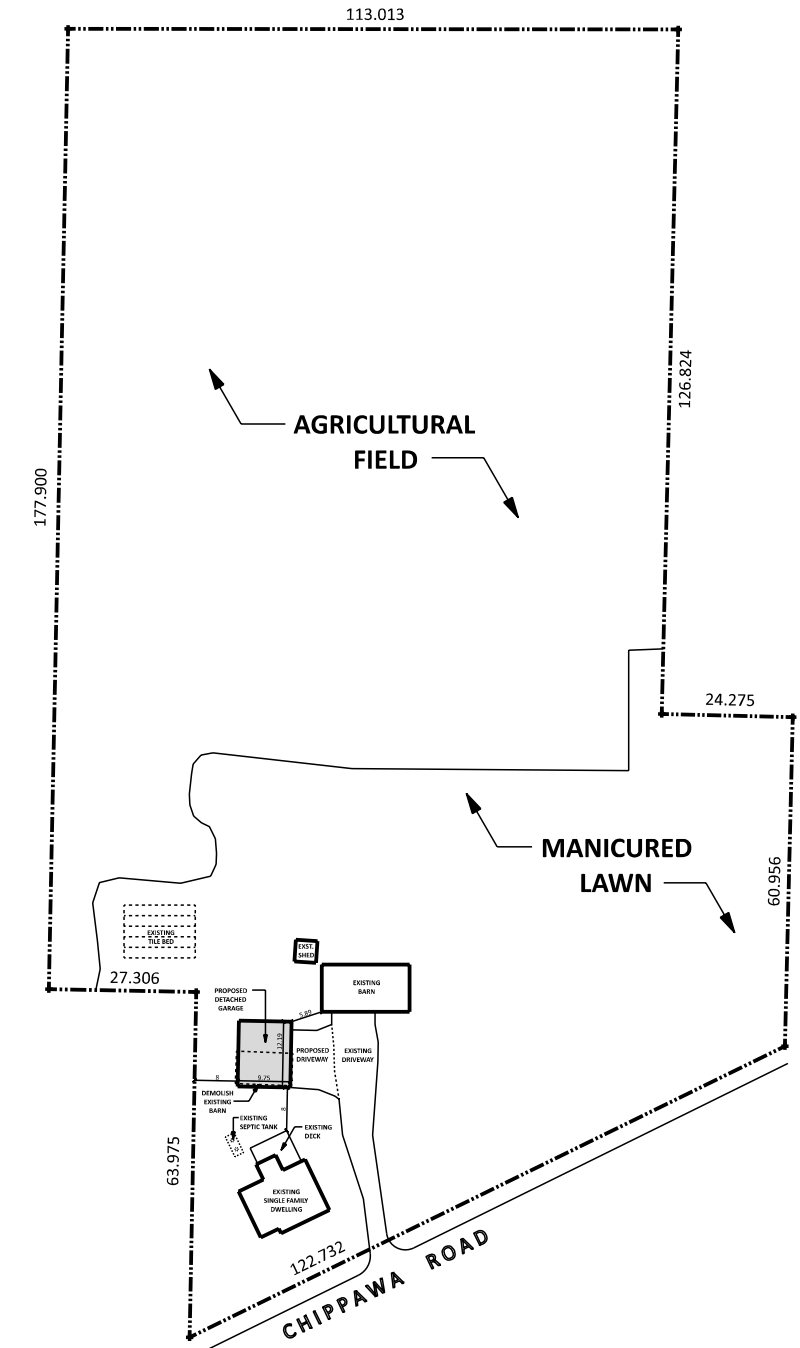
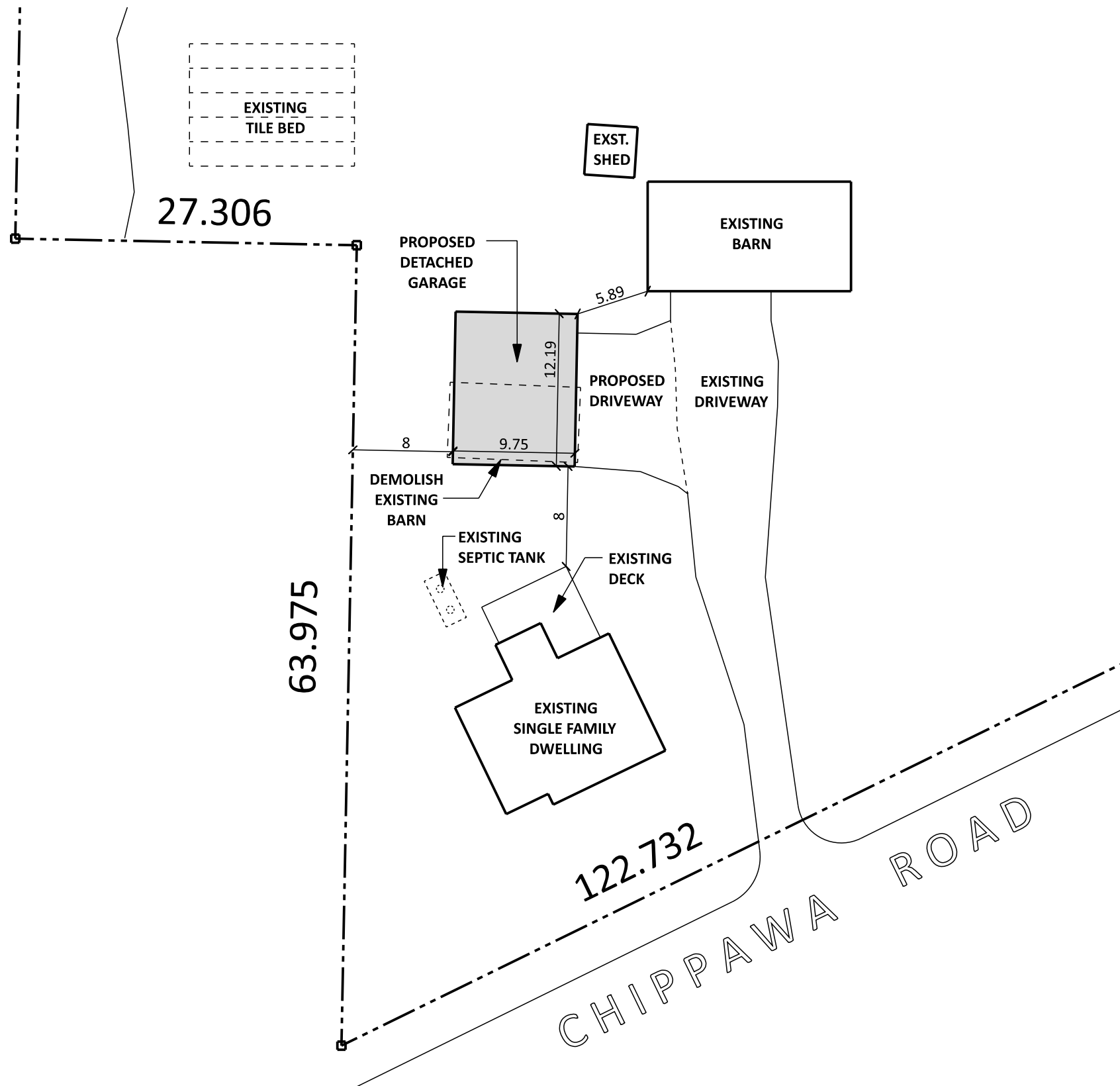
Given the information above, Planning staff recommend that application A10-26-PC be **granted** for the following reasons:

- 1. The application is minor in nature.**
- 2. It is desirable for the appropriate development of the land.**
- 3. It maintains the general intent and purpose of the Zoning By-law.**
- 4. It maintains the general intent and purpose of the Official Plan.**

Respectfully submitted,

Owen McDonnell
Planning Student

Kelly Martel
Planning Manager



KEY PLAN
NOT TO SCALE

SITE PLAN

1132 CHIPPAWA ROAD
PORT COLBORNE, ON



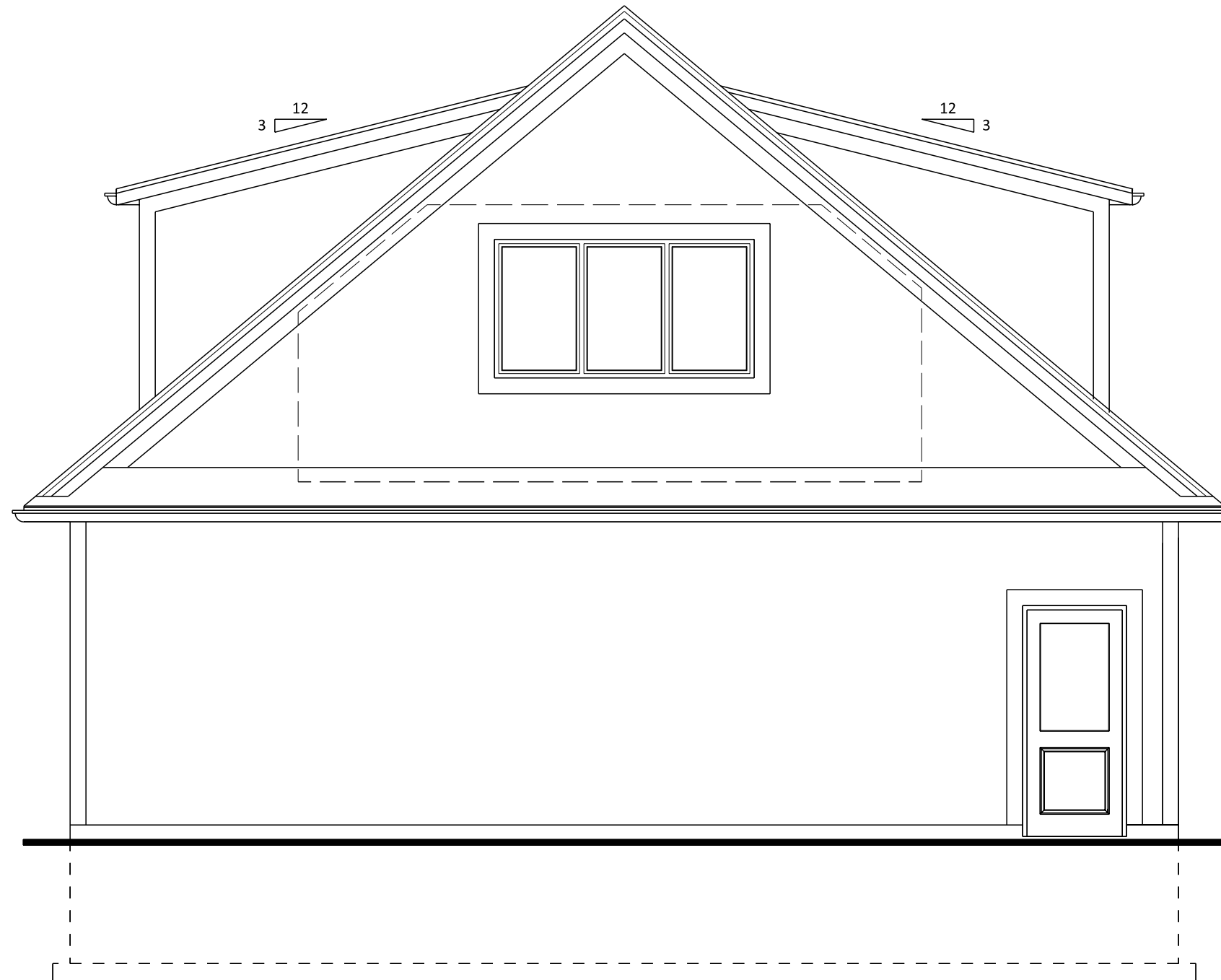
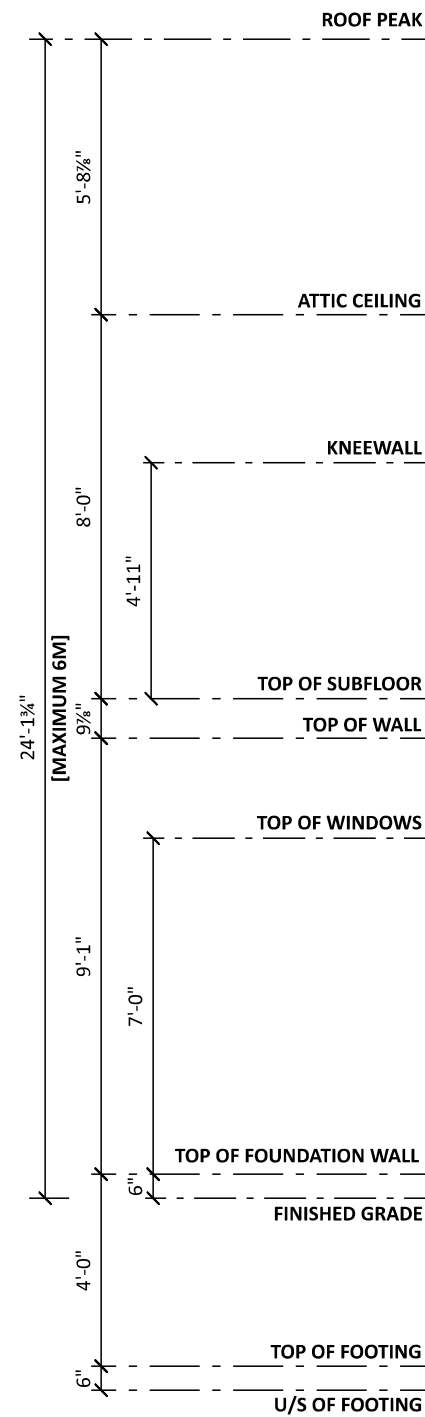
LOT AREA	=	25,367 SQ. M.
EXISTING LOT COVERAGE	=	371 SQ. M (1.46%)
PROPOSED LOT COVERAGE	=	428.5 SQ. M. (1.69%)

VDS
ARCHITECTURAL DESIGN
www.vantweldesignstudio.com
905.246.2707

SCALE:	1 : 400
DRAWN BY:	D.V.
REVISION:	VARIANCE
DATE:	2026-05-22

LICENSED WITH THE ONTARIO MINISTRY OF MUNICIPAL AFFAIRS AND HOUSING	
NAME:	DUSTIN VANTWEL
BCIN:	107 105
FIRM BCIN:	117 864
SIGNATURE:	<i>Dustin Vantwel</i>

PROJECT #	2026-010
PAGE	
1	7



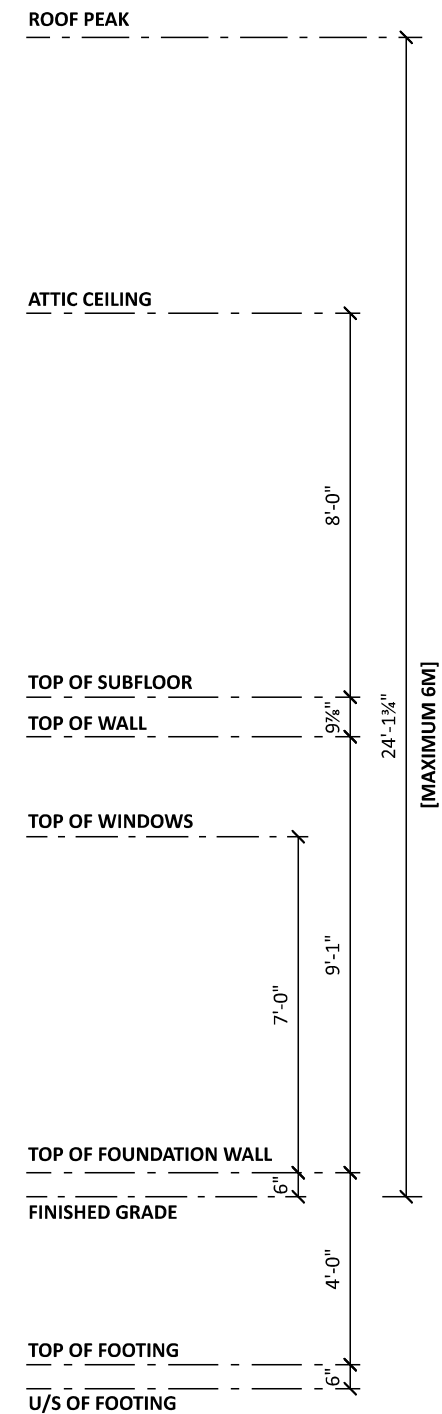
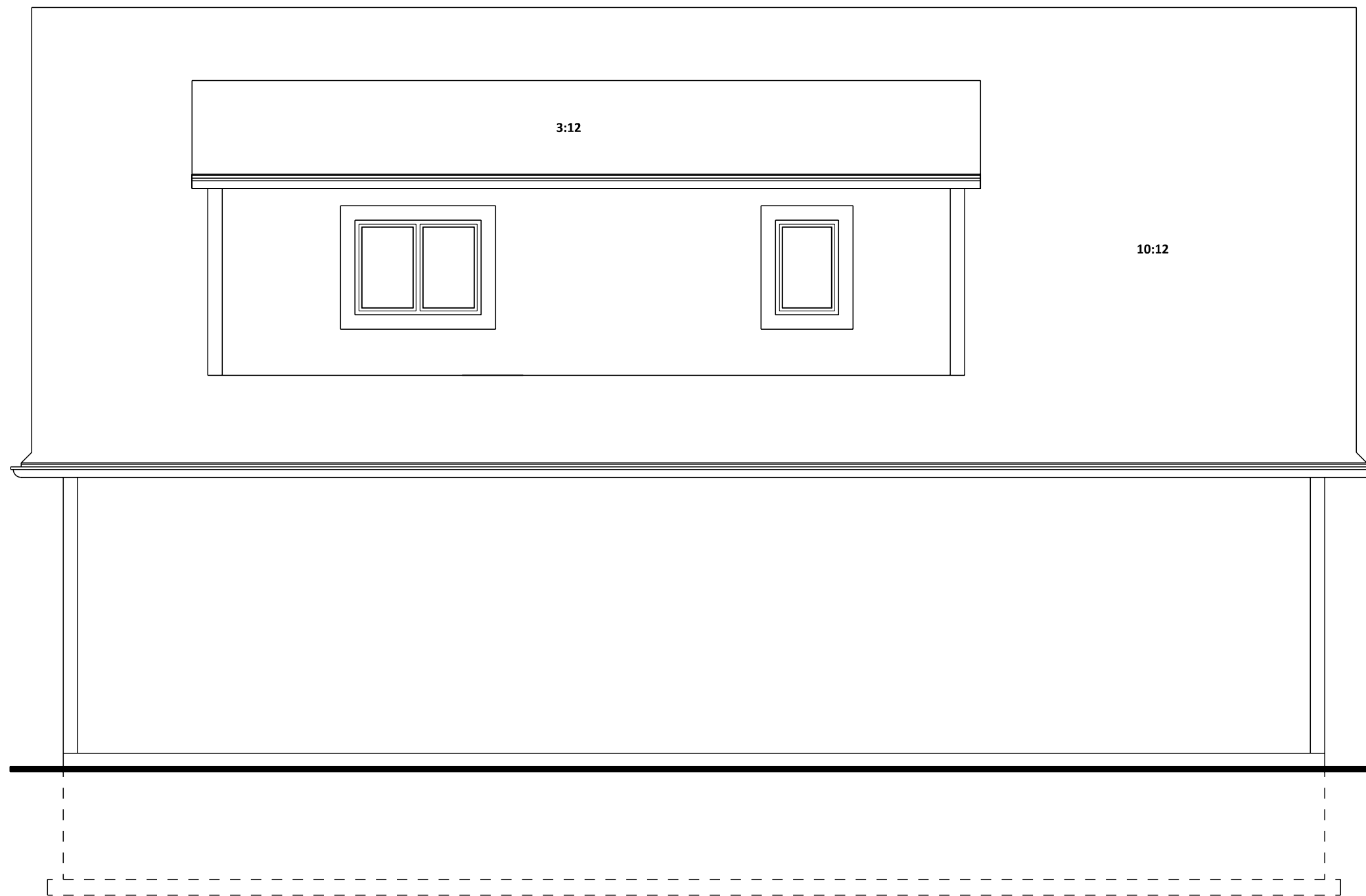
FRONT ELEVATION

VDS
 ARCHITECTURAL DESIGN
 www.vantweldesignstudio.com
 905.246.2707

SCALE: 1/4" = 1'-0"
 DRAWN BY: D.V.
 REVISION: VARIANCE
 DATE: 2026-05-22

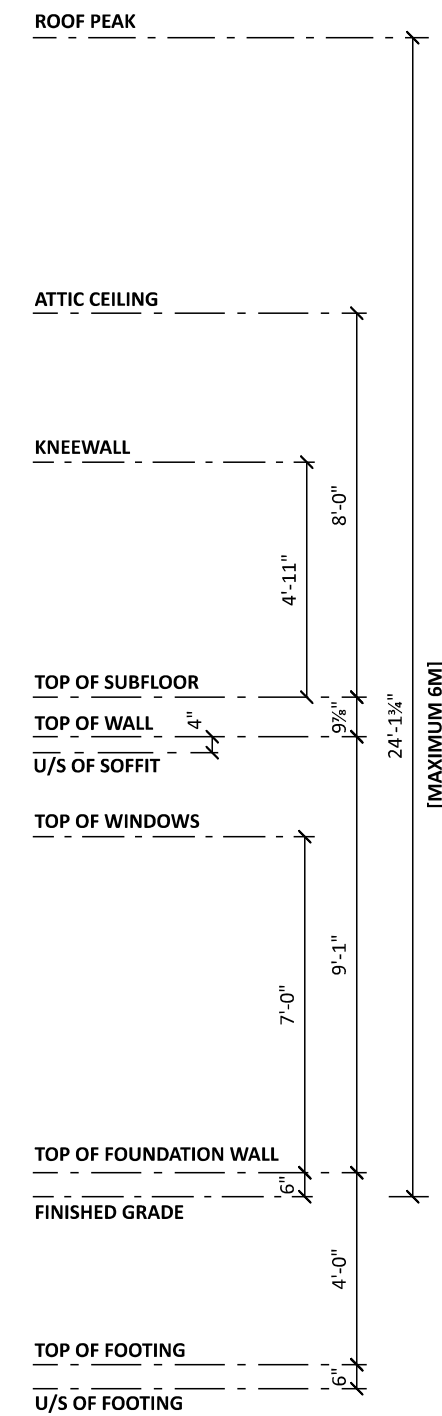
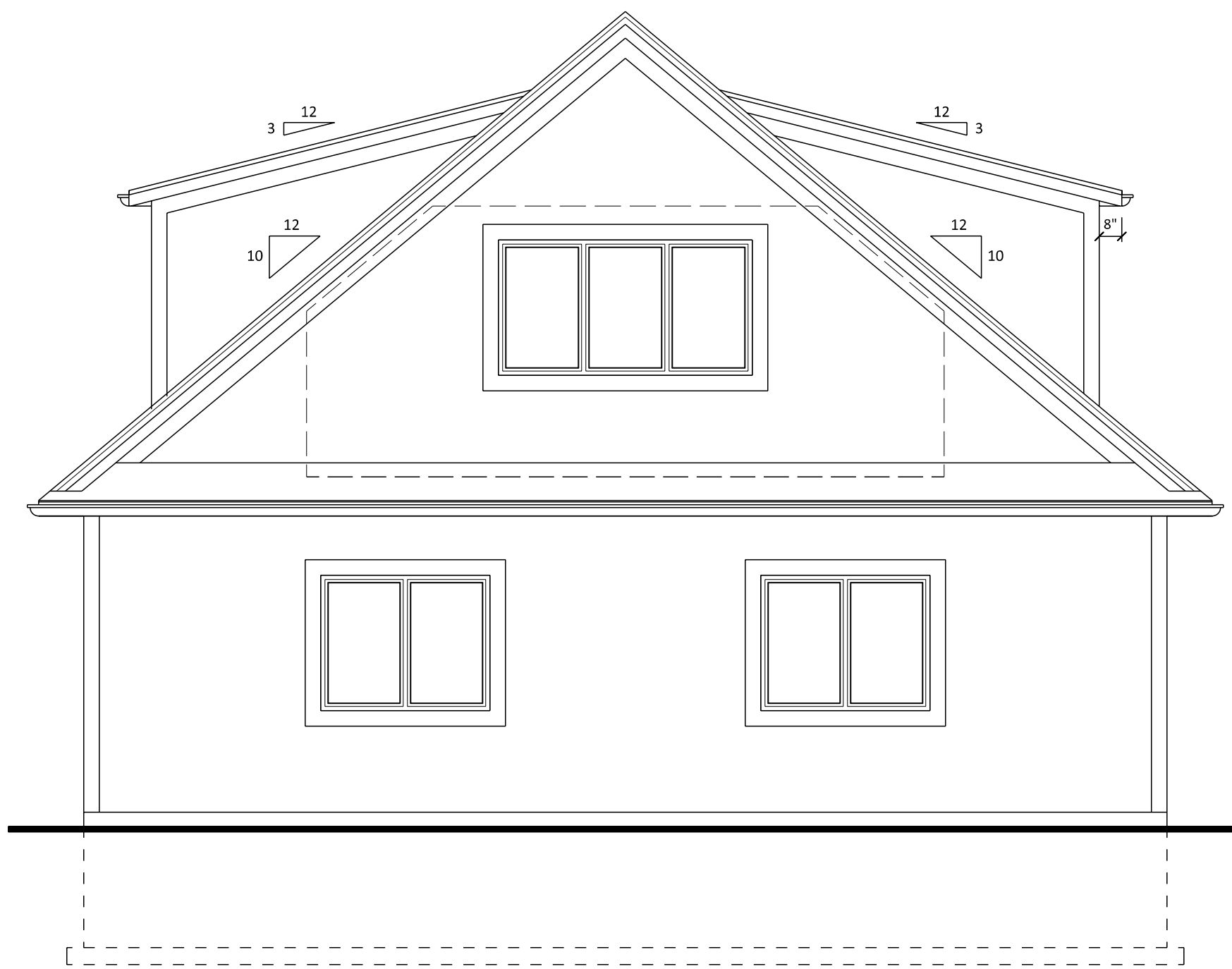
LICENSED WITH THE ONTARIO MINISTRY OF MUNICIPAL AFFAIRS AND HOUSING
 NAME: DUSTIN VANTWEL
 BCIN: 107 105
 FIRM BCIN: 117 864
 SIGNATURE: *Dustin Vantwel*

PROJECT # 2026-010
 PAGE
 2 7



LEFT ELEVATION

VDS ARCHITECTURAL DESIGN www.vantweldesignstudio.com 905.246.2707	SCALE: 1/4" = 1'-0"	LICENSED WITH THE ONTARIO MINISTRY OF MUNICIPAL AFFAIRS AND HOUSING	PROJECT # 2026-010
	DRAWN BY: D.V.	NAME: DUSTIN VANTWEL	PAGE
	REVISION: VARIANCE	BCIN: 107 105	3 7
	DATE: 2026-05-22	FIRM BCIN: 117 864	
		SIGNATURE: <i>Dustin Vantwel</i>	



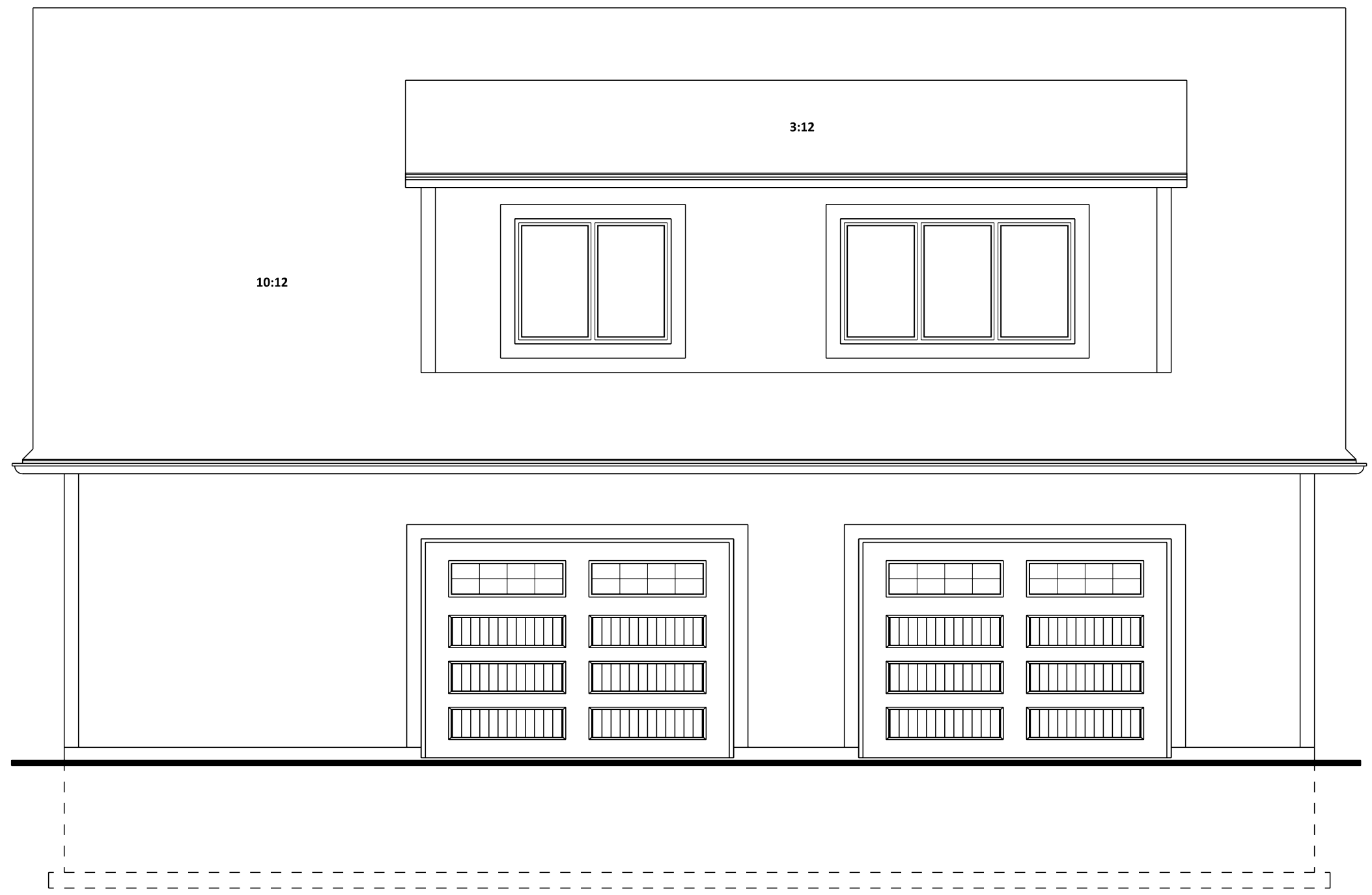
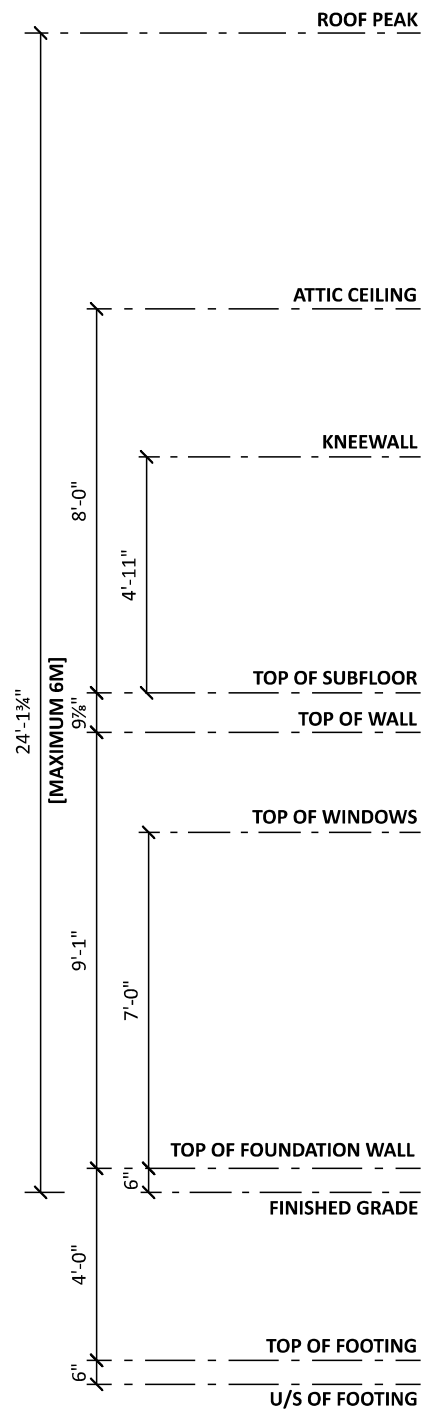
REAR ELEVATION

VDS
 ARCHITECTURAL DESIGN
 www.vantweldesignstudio.com
 905.246.2707

SCALE: 1/4" = 1'-0"
 DRAWN BY: D.V.
 REVISION: VARIANCE
 DATE: 2026-05-22

LICENSED WITH THE ONTARIO MINISTRY OF MUNICIPAL AFFAIRS AND HOUSING
 NAME: DUSTIN VANTWEL
 BCIN: 107 105
 FIRM BCIN: 117 864
 SIGNATURE: *Dustin Vantwel*

PROJECT # 2026-010
 PAGE
 4 7



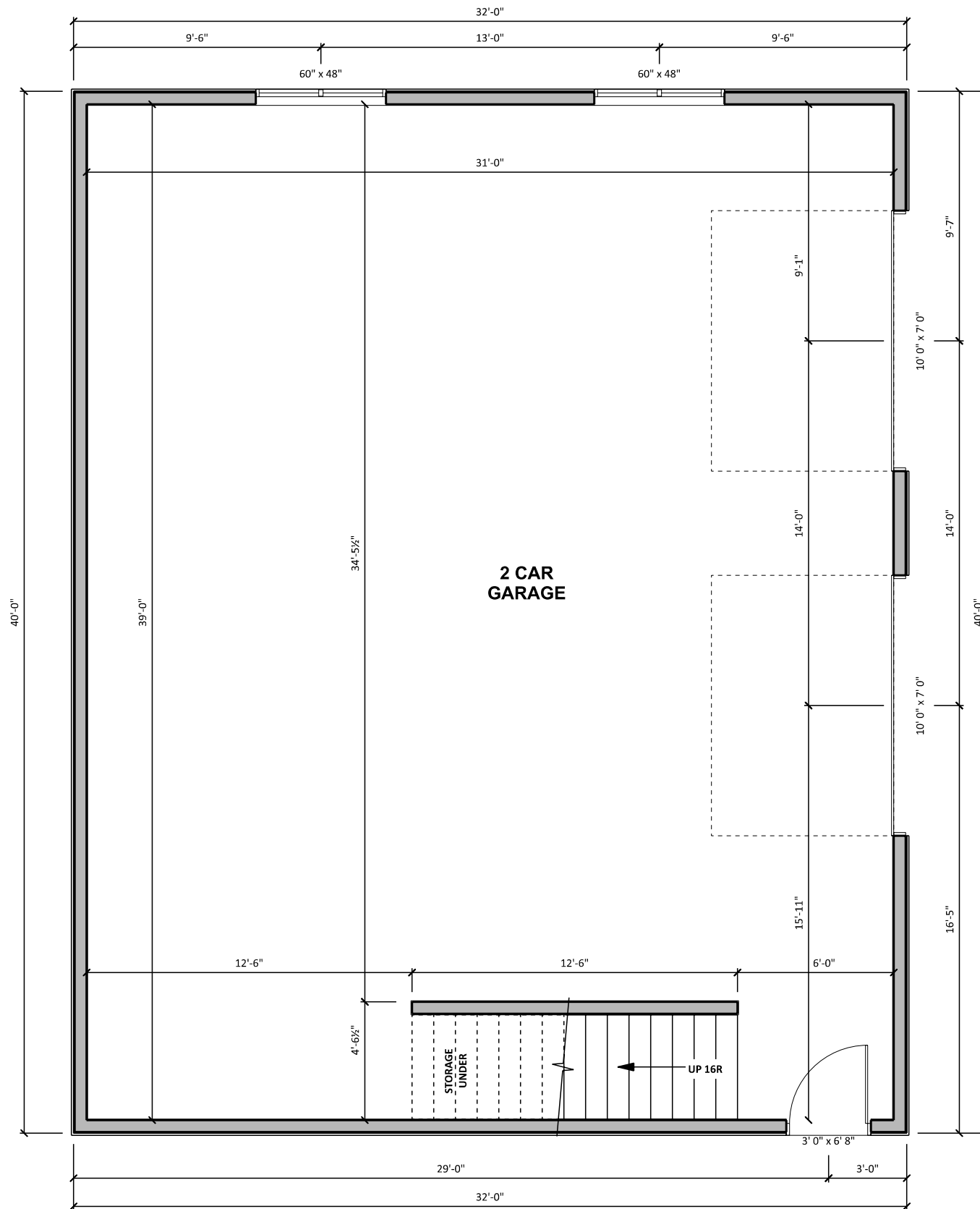
RIGHT ELEVATION

VDS
 ARCHITECTURAL DESIGN
 www.vantweldesignstudio.com
 905.246.2707

SCALE: 1/4" = 1'-0"
 DRAWN BY: D.V.
 REVISION: VARIANCE
 DATE: 2026-05-22

LICENSED WITH THE ONTARIO MINISTRY
 OF MUNICIPAL AFFAIRS AND HOUSING
 NAME: DUSTIN VANTWEL
 BCIN: 107 105
 FIRM BCIN: 117 864
 SIGNATURE: *Dustin Vantwel*

PROJECT # 2026-010
 PAGE
 5 | 7



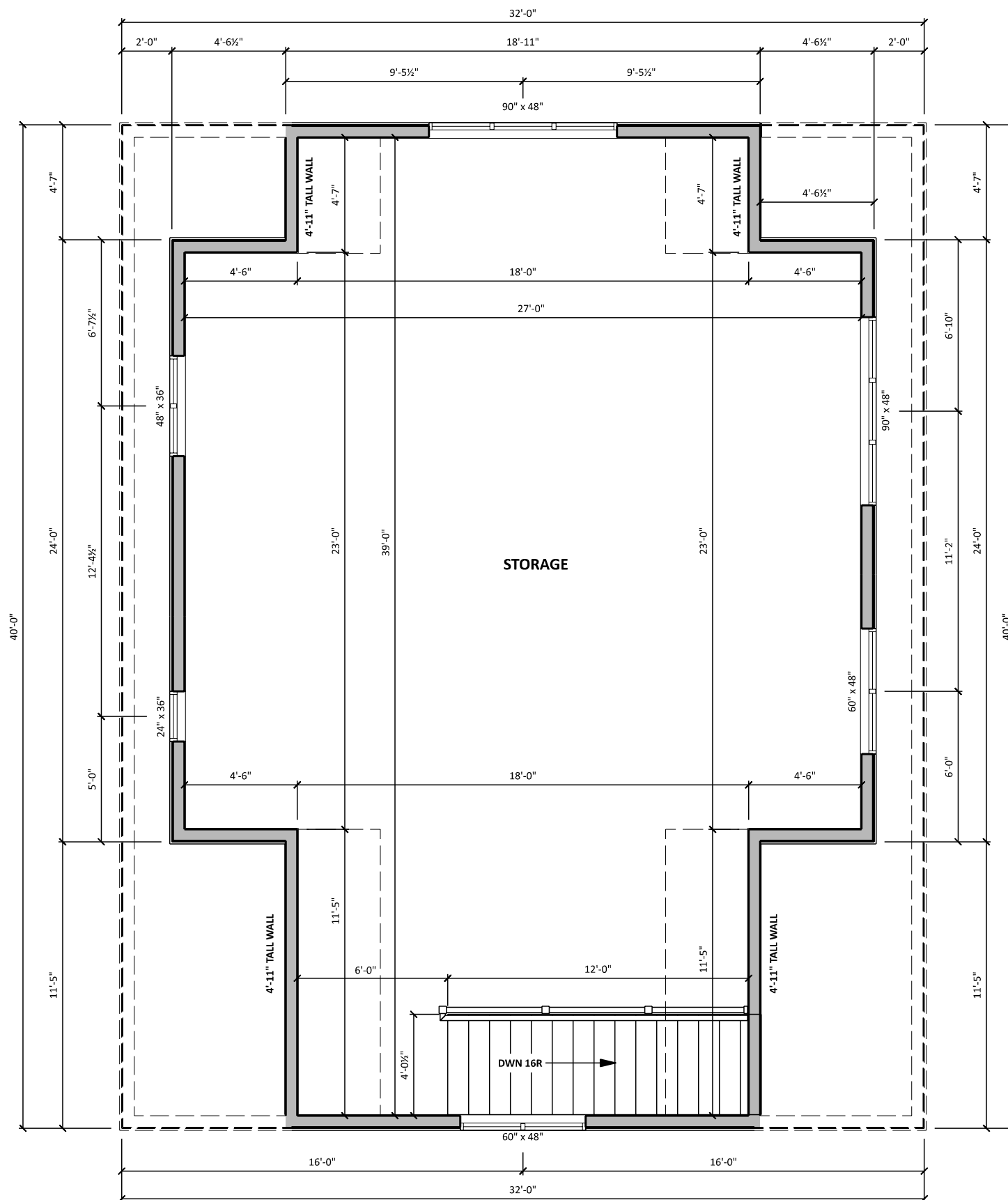
1ST FLOOR PLAN
FLOOR AREA = 1,280 SQ. FT.

VDS
 ARCHITECTURAL DESIGN
 www.vantweldesignstudio.com
 905.246.2707

SCALE: 3/16" = 1'-0"
 DRAWN BY: D.V.
 REVISION: VARIANCE
 DATE: 2026-05-22

LICENSED WITH THE ONTARIO MINISTRY
 OF MUNICIPAL AFFAIRS AND HOUSING
 NAME: DUSTIN VANTWEL
 BCIN: 107 105
 FIRM BCIN: 117 864
 SIGNATURE: *Dustin Vantwel*

PROJECT # 2026-010
 PAGE
 6 7



ATTIC PLAN
FLOOR AREA = 851 SQ. FT.

<p>VDS ARCHITECTURAL DESIGN www.vantweldesignstudio.com 905.246.2707</p>	SCALE: 3/16" = 1'-0"	LICENSED WITH THE ONTARIO MINISTRY OF MUNICIPAL AFFAIRS AND HOUSING	PROJECT # 2026-010
	DRAWN BY: D.V.	NAME: DUSTIN VANTWEL	PAGE
	REVISION: VARIANCE	BCIN: 107 105	7
	DATE: 2026-05-22	FIRM BCIN: 117 864 SIGNATURE: <i>Dustin Vantwel</i>	7



PORT COLBORNE

PLANNING AND DEVELOPMENT DEPARTMENT

COMMITTEE OF ADJUSTMENT NOTICE OF PUBLIC HEARING

Consent Application

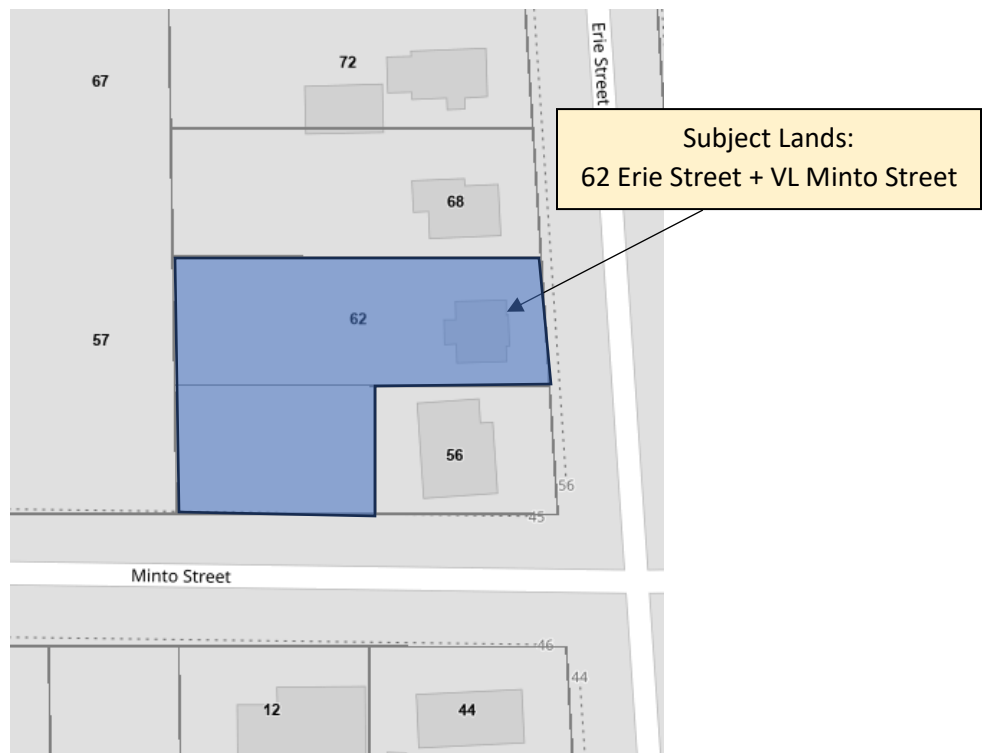
File No. B14-26-PC

IN THE MATTER OF the *Planning Act, R.S.O., 1990, c.P. 13, Section 53 (1)*;

AND IN THE MATTER OF the lands legally known as Lot 29 and Part of Lot 31, Plan 777, in the City of Port Colborne, located in the Second Density Residential (R2) zone, municipally known as 62 Erie Street and a vacant lot located on Minto Street;

AND IN THE MATTER OF AN APPLICATION by the owners, Gilles and Leola Brochu, for consent to sever for the purpose of creating a new residential lot. The subject parcels are shown as Parts 1 and 3 on the proposed sketch, where Part 1 is to be retained for an existing residential use, and Part 3 is to be severed for a future residential use. A sketch of the subject lands is shown on the reverse side of this notice. A higher resolution PDF version of this sketch can be found on the City's website.

LOCATION MAP



PLEASE TAKE NOTICE that this application will be heard in-person and virtually by the Committee of Adjustment as shown below:

- Date:** July 8, 2026
- Time:** 6:00 p.m.
- Location:** 66 Charlotte Street – Third Floor Council Chambers and Virtually via Zoom

Additional information regarding this application is available for public inspection. An appointment can be scheduled in the office of the Planning and Development department, Monday to Friday, during the hours of 8:30 A.M. to 4:30 P.M., by telephone at (905)-228-8124 or through email at taya.taraba@portcolborne.ca to view the material.

PUBLIC HEARING: You are entitled to participate and express your views about this application, or you may be represented by counsel for that purpose. The Planning Division's report may be available for public inspection by **Friday, July 3, 2026**. If you are receiving this notice as the owner of land that contains multiple residential units, please post this in a location that is visible to all tenants.

Electronic Hearing Procedures
How to Get Involved in the Hearing

Anyone wishing to participate in the meeting can attend either virtually or in-person and is encouraged to submit a written submission that will be circulated to the Committee of Adjustment prior to the meeting. All comments submitted are part of the public record.

If anyone wishes to orally participate in the meeting, they must pre-register with the Secretary-Treasurer. **Written submissions and participation requests must be received by 12:00 p.m. on Tuesday, July 7, 2026**, by emailing taya.taraba@portcolborne.ca or by calling (905)-228-8124. Written submissions may also be submitted to the mail slot located in the front-left of City Hall; 66 Charlotte Street.

If you have any questions about the application(s) or submission process, please email taya.taraba@portcolborne.ca or call (905)-228-8124.

If you wish to be notified of the decision of the Committee of Adjustment in respect to this application, you must submit a written request to the Secretary-Treasurer.

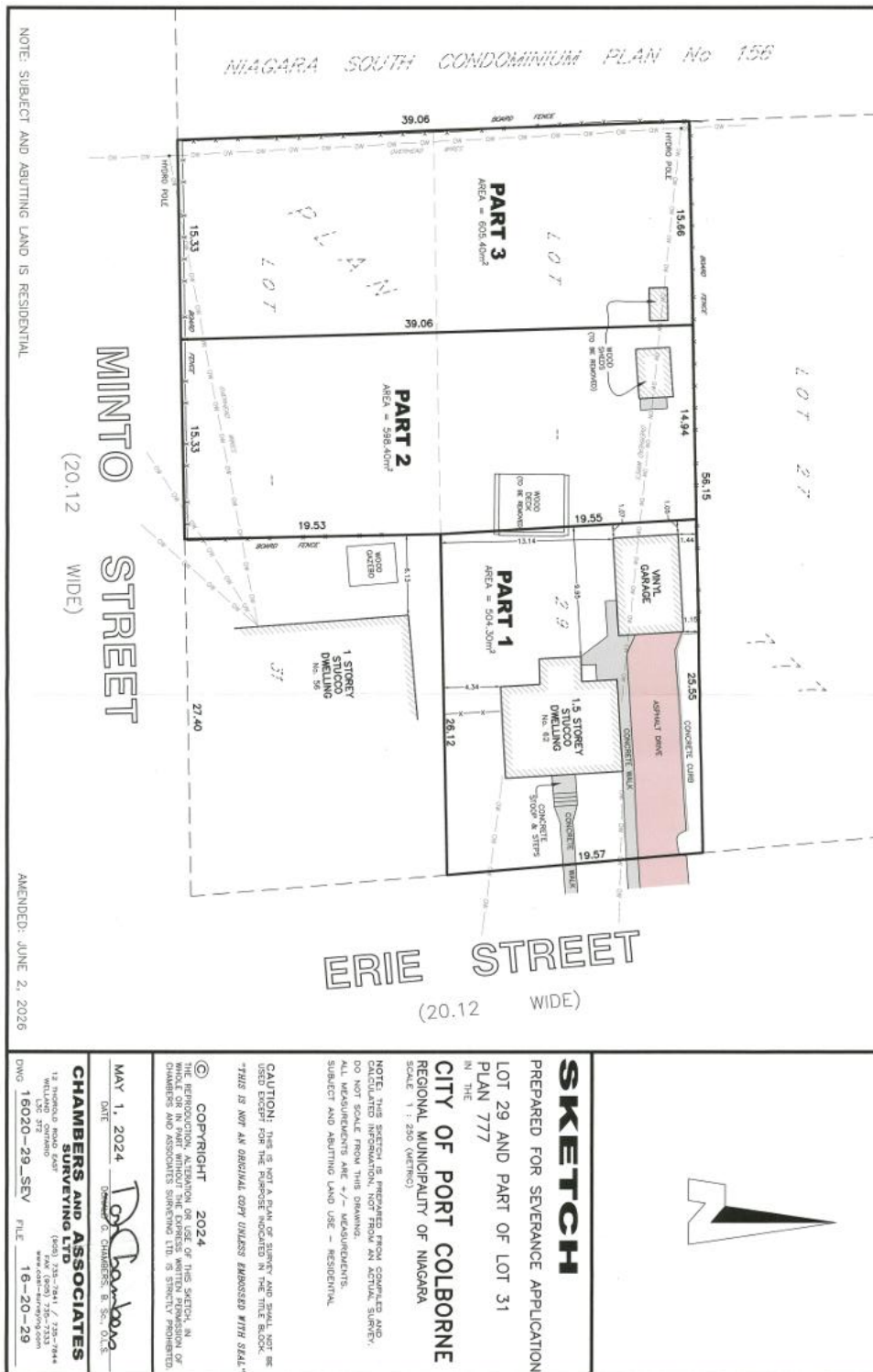
Taya Taraba

By order of the Committee of Adjustment,

Taya Taraba
Secretary-Treasurer

Date of Mailing: June 23, 2026

SKETCH





PORT COLBORNE

PLANNING AND DEVELOPMENT DEPARTMENT

COMMITTEE OF ADJUSTMENT
NOTICE OF PUBLIC HEARING

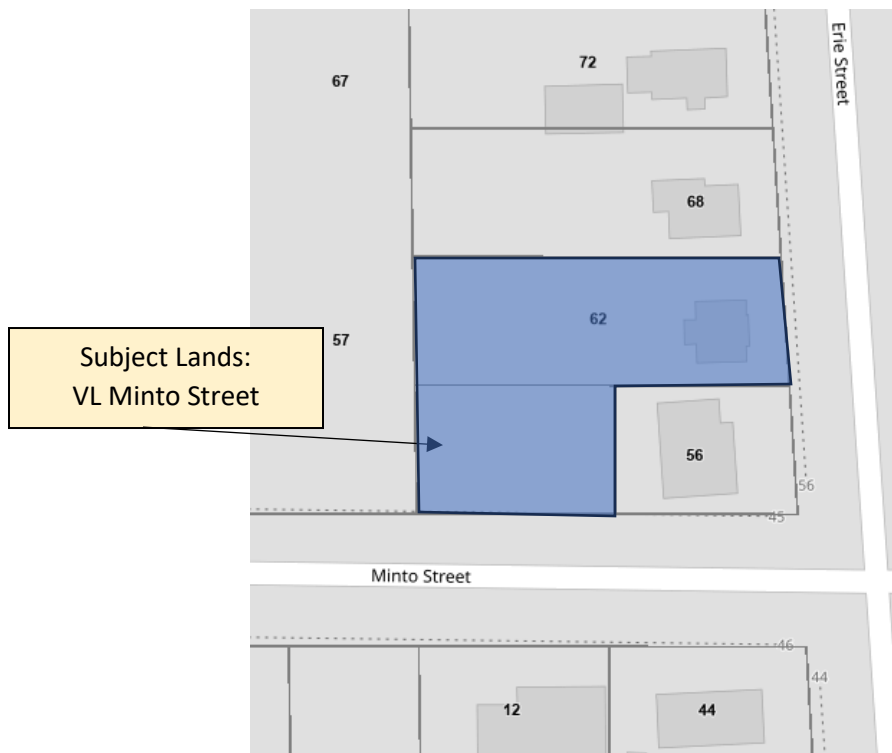
Consent Application
File No. B15-26-PC

IN THE MATTER OF the *Planning Act, R.S.O., 1990, c.P. 13, Section 53 (1)*;

AND IN THE MATTER OF the lands legally known as Lot 29 and Part of Lot 31, Plan 777, in the City of Port Colborne, located in the Second Density Residential (R2) zone, municipally known as 62 Erie Street and a vacant located on Minto Street;

AND IN THE MATTER OF AN APPLICATION by the owners, Gilles and Leola Brochu, for consent to sever for the purpose of creating a new residential lot. The subject parcels are shown as Parts 1 and 2 on the proposed sketch, where Part 1 is to be retained for an existing residential use, and Part 2 is to be severed for a future residential use. A sketch of the subject lands is shown on the reverse side of this notice. A higher resolution PDF version of this sketch can be found on the City’s website.

LOCATION MAP



PLEASE TAKE NOTICE that this application will be heard in-person and virtually by the Committee of Adjustment as shown below:

- Date:** July 8, 2026
- Time:** 6:00 p.m.
- Location:** 66 Charlotte Street – Third Floor Council Chambers and Virtually via Zoom

Additional information regarding this application is available for public inspection. An appointment can be scheduled in the office of the Planning and Development department, Monday to Friday, during the hours of 8:30 A.M. to 4:30 P.M., by telephone at (905)-228-8124 or through email at taya.taraba@portcolborne.ca to view the material.

PUBLIC HEARING: You are entitled to participate and express your views about this application, or you may be represented by counsel for that purpose. The Planning Division’s report may be available for public inspection by **Friday, July 3, 2026**. If you are receiving this notice as the owner of land that contains multiple residential units, please post this in a location that is visible to all tenants.

Electronic Hearing Procedures
How to Get Involved in the Hearing

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If you wish to be notified of the decision of the Committee of Adjustment in respect to this application, you must submit a written request to the Secretary-Treasurer.

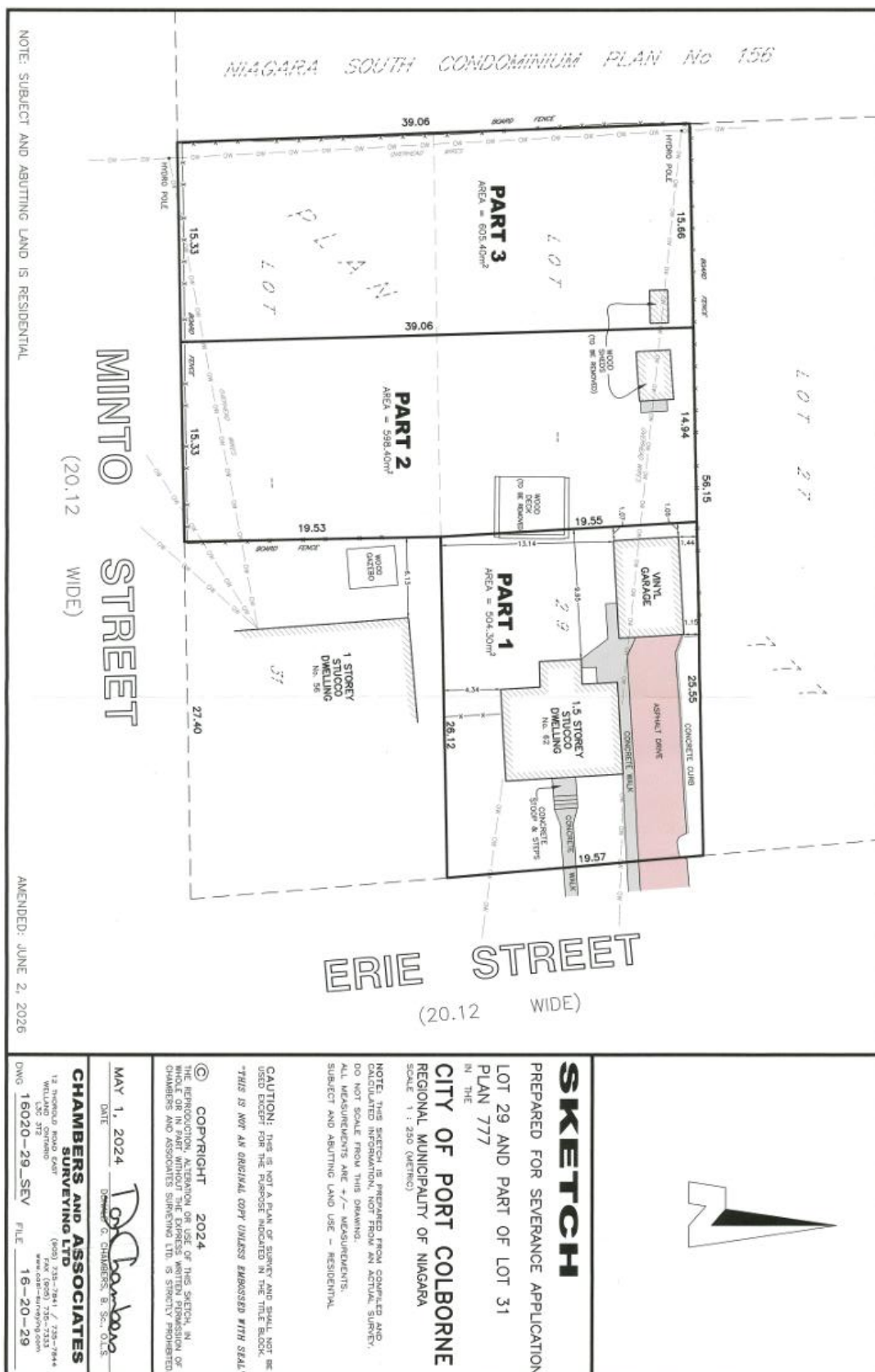
Taya Taraba

By order of the Committee of Adjustment,

Taya Taraba
Secretary-Treasurer

Date of Mailing: May 26, 2026

SKETCH



NOTE: SUBJECT AND ADJUTING LAND IS RESIDENTIAL
AMENDED: JUNE 2, 2026

SKETCH
PREPARED FOR SEVERANCE APPLICATION
LOT 29 AND PART OF LOT 31
PLAN 777
IN THE
CITY OF PORT COLBORNE
REGIONAL MUNICIPALITY OF NIAGARA
SCALE 1:1,250 (METRIC)

NOTE: THIS SECTION IS PREPARED FROM COMPUTER AND DIGITAL DATA. IT IS NOT A FIELD SURVEY. ALL MEASUREMENTS ARE +/- MEASUREMENTS. SUBJECT AND ADJUTING LAND USE - RESIDENTIAL.

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MAY 1, 2024
DATE
Drew G. Chambers, B.Sc., O.L.S.
CHAMBERS AND ASSOCIATES
SURVEYING LTD.
12 HURON ROAD, UNIT 101
WILLOW GROVE, ONTARIO
L2C 3T2
WWW.CAASURV.COM
TEL: (905) 735-7333
FAX: (905) 735-7333
DWG 16020-29_SEV FILE 16-20-29

Planning and Development Department
 Planning Division Report

July 8, 2026

Secretary-Treasurer
 Port Colborne Committee of Adjustment
 66 Charlotte Street
 Port Colborne, ON L3K 3C8

Re: Application for Consent: B14-26-PC and B15-26-PC
Lot 29 and Part of Lot 31, Plan 777, in the City of Port Colborne (62 Erie Street and VL Minto Street)
Agent: N/A
Owner: Gilles and Leola Brochu

Proposal

The purpose of this application is to permit the severances of the parcels at 62 Erie Street and a vacant lot on Minto Street, for the purpose of creating two new lots, as illustrated in the provided figures and described below.

- **Part 1** is proposed to **be retained** with an existing residential use, with a lot frontage of 19.57 metres and a lot area of 497.3 square metres.
- **Parcel 2** is proposed to **be severed** for future residential use, with a lot frontage of 15.33 metres and a lot area of 598.4 square metres.
- **Part 3** is proposed to **be severed** for future residential use, with a lot frontage of 15.33 metres and a lot area of 605.4 square metres.
- The sketch submitted shows that existing single detached dwelling on the retained parcel will remain and identifies that the existing sheds are to be removed.

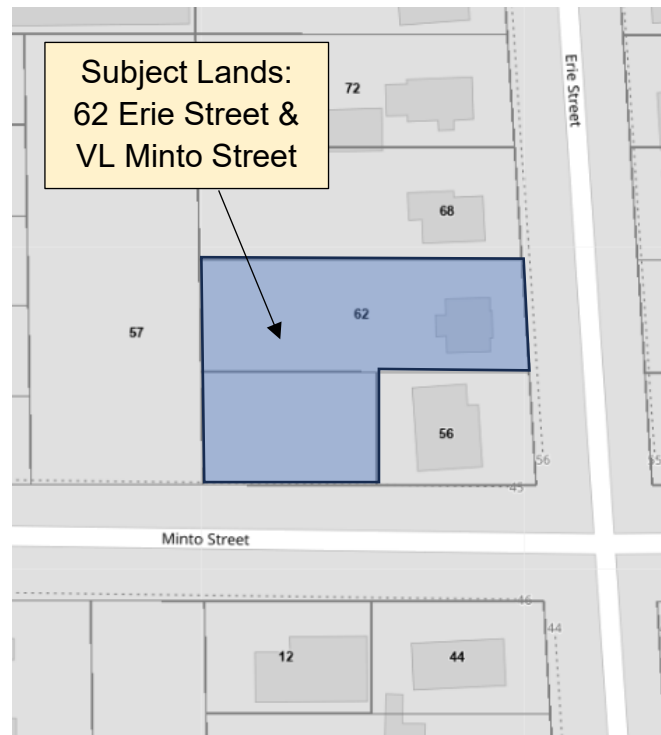


Figure 1 (above): Subject Lands

Surrounding Land Uses and Zoning

The Subject Lands are zoned Second Density Residential (R2). Residential uses exist surrounding the Subject Lands, consisting of low-rise dwellings zoned Second Density Residential (R2) to the north, east, and south, and apartment buildings zoned Fourth Density Residential (R4) to the west and southwest. Figure 3 shows the zoning of the subject and surrounding lands.

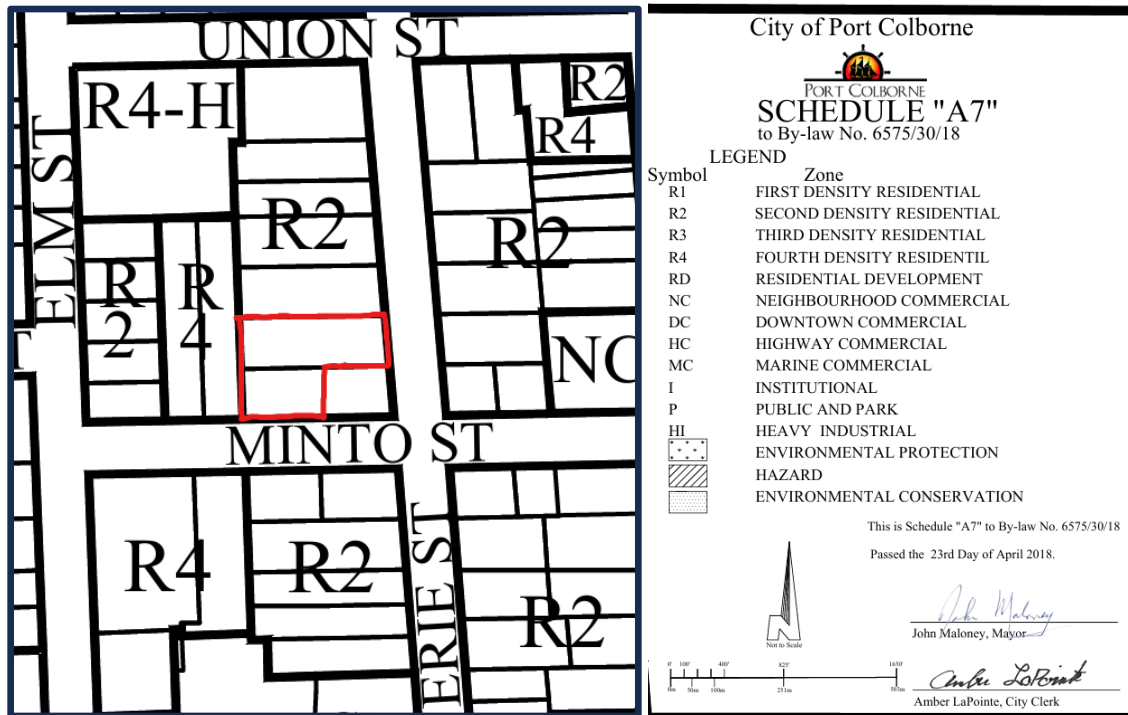


Figure 3 (above): Zoning of the subject and surrounding lands

Environmentally Sensitive Areas

The subject lands do not contain any environmentally sensitive areas.

Public Comments

Notice was circulated on June 23, 2025, to properties within 60 metres of the subject lands, in accordance with the *Planning Act*. As of the date of writing this report, no comments from the public have been received.

Agency Comments

Notice of the application was circulated on June 9, 2025, to internal City departments and external agencies. As of the date of writing this report, the following comments have been received.

Commenter	Comments	Planning Staff Response
Drainage Superintendent	No objections	Noted
Fire Department	No objections	Noted
Engineering Technologist	<p>Please note that, each lot shall be provided with its own independent municipal services, including one (1) water service and one (1) sanitary service per lot. The Owner shall submit a detailed servicing plan for review and approval by the City's Planning and Development Department.</p> <p>All existing municipal services (water, sanitary, and storm) serving the retained and severed parcels shall be independently connected and located entirely within the boundaries of their respective lots. Any shared or cross-lot services shall be disconnected and removed. New service connections shall be installed, at the Owner's expense, to the satisfaction of the Municipality and in accordance with current municipal standards and applicable approvals, prior to the issuance of the final consent.</p>	A condition of consent has been included that requires that the applicant provide City Development Engineering staff with a site servicing plan showing proposed and existing site servicing for staff to review and approve.
Niagara Peninsula Conservation Authority	No objections	Noted

Discussion

Consent applications B14-26-PC and B15-26-PC were reviewed in consideration of the applicable policies in the Provincial Planning Statement (2024), the Niagara Official Plan (2022), the City of Port Colborne Official Plan (2013), and Zoning By-law 6575/30/18.

Provincial Planning Statement (PPS)

Based on the policies and definitions in the PPS, the subject lands are within a settlement area. Section 2.3.1.1 of the PPS states that settlement areas shall be the focus of growth and development. Section 2.3.1.2 encourages land use patterns within settlement areas to be based on densities and a mix of uses which efficiently use land and resources, optimizing existing and planned infrastructure. Section 2.3.1.2 requires that planning authorities support redevelopment to help achieve complete communities.

The proposed severances are consistent with the PPS. The proposal to create new lots within the City's urban area supports the provincial requirement to direct growth and development to settlement areas. The retained and severed lands are in the urban area and can be municipally serviced, which contributes to the efficient use of existing infrastructure.

Niagara Official Plan (NOP)

The Niagara Official Plan (NOP) provides the long-term land use planning framework for development across the Niagara Region, including the City of Port Colborne. The subject lands are designated as follows in the NOP:

- Delimited Built-up Area, in accordance with Schedule B, Regional Structure; and
- Area of Archaeological Potential, in accordance with Schedule K, Areas of Archaeological Potential.

Section 2.2 of the NOP directs growth to settlement areas and states that most development will occur in urban areas, where municipal water and wastewater systems/services exist or are planned and a range of transportation options can be provided. The urban growth management policies in NOP Policy 2.2.1 encourage land use patterns that minimize land consumption, make efficient use of existing infrastructure, and promote orderly development while protecting natural heritage features.

The proposed consent applications conform to the NOP.

City of Port Colborne Official Plan (OP)

The Subject Lands are designated Urban Residential in accordance with Schedule A of the OP. Section 3.2 of the OP sets out the permitted uses of the Urban Residential designation, which includes residential uses, neighbourhood commercial uses, cemeteries, parks, schools, community facilities and institutional uses normally located in residential areas.

Section 3.2.2 of the OP outlines the requirements for intensification and infill in the Urban Residential designation. Proposals for severances on lands designated Urban Residential are considered in accordance with the policies of Section 3.2.4 of the OP.

The proposed consent applications meet the requirements to sever the lands set out in the OP, subject to necessary conditions which are outlined in the Recommendation section of this report.

City of Port Colborne Zoning By-law 6575/30/18

The subject lands are zoned Second Density Residential (R2) in accordance with Zoning By-law 6575/30/18. The applicant is requesting the consent application so that the newly created lots can be developed for a residential use. Low density residential uses, including detached, duplex, and semi-detached dwellings are permitted in the R2 zone.

The proposed severance will leave the following dimensions:

- Part 1: a lot frontage of 19.57 metres and a lot area of 497.3 square metres
- Part 2: a lot frontage of 15.33 metres and a lot area of 598.4 square metres
- Part 3: a lot frontage of 15.33 metres and a lot area of 605.4 square metres

The consent applications B14-16-PC and B15-26-PC propose to create 2 new lots, all of which exceed the minimum frontage and lot area requirements for detached dwellings set out in the R2 zone.

While all severed and retained parcels meet the minimum lot frontage and lot area requirements for detached dwellings in the R2 zone, future development proposals may require minor variances depending on the specific design and built form. This is particularly relevant if a permitted dwelling type other than a single detached dwelling is proposed, as these forms may have different setback, lot coverage, or parking requirements under the Zoning By-law. This note is provided for the awareness of the Committee and the applicant only. It does not affect the planning analysis or the recommendation to approve the consent applications, as the proposed severance complies with the applicable policy and regulatory provisions for lot creation.

Recommendation:

That consent application B14-26-PC and B15-26-PC be **granted** subject to the following conditions:

1. That the applicant provides the Secretary-Treasurer with the deeds for the conveyance of the subject parcels, including a registrable legal description of the subject parcels, and a copy of the deposited reference plan, for use in the issuance of the Certificate of Consent.
2. That the applicant signs the City of Port Colborne's standard "Memorandum of Understanding" explaining that development charges and cash-in-lieu of the dedication of land for park purposes, based on an appraisal, at the expense of the applicant, wherein the value of the land is to be determined as of the day before the issuance of a building permit, is required prior to the issuance of a building permit pursuant to Section 42 of the Planning Act. R.S.O 1990, as amended.

3. That, prior to depositing the reference plan, the following amendments are made to the satisfaction of City staff:
 - a. That the applicant shall remove all existing structures noted to be removed on the severance sketch to the satisfaction of the Chief Planner;
 - b. That the applicant shall provide City Development Engineering staff with a site servicing plan showing proposed and existing site servicing for the staff to review and approve;
4. That the applicant shall undertake an archaeological assessment and obtain archaeological clearance from the Ministry of Citizenship and Multiculturalism (MCM);
5. That the structures listed as “to be removed” in the proposed severance sketch are removed;
6. That any overhead wires, crossing Parts 2 and 3, servicing the existing home at 56 Erie Street be relocated to not interfere with Parts 2 and 3;
7. That the seller confirm to the City that no shared or cross lot services interfere with Parts 2 and 3;
8. That the applicable final certification fee (per application), payable to the City of Port Colborne, is submitted to the Secretary-Treasurer; and
9. That all conditions of consent be completed by July 8, 2028.

For the following reasons:

1. The application is consistent with the Provincial Planning Statement, conforms to the Niagara Official Plan and the City of Port Colborne Official Plan; and, complies with the provisions of Zoning By-law 6575/30/18, as amended.

Respectfully submitted,

Owen McDonnell
Planning Student

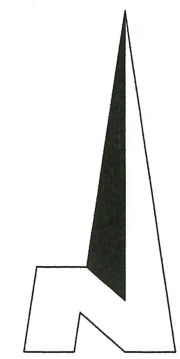
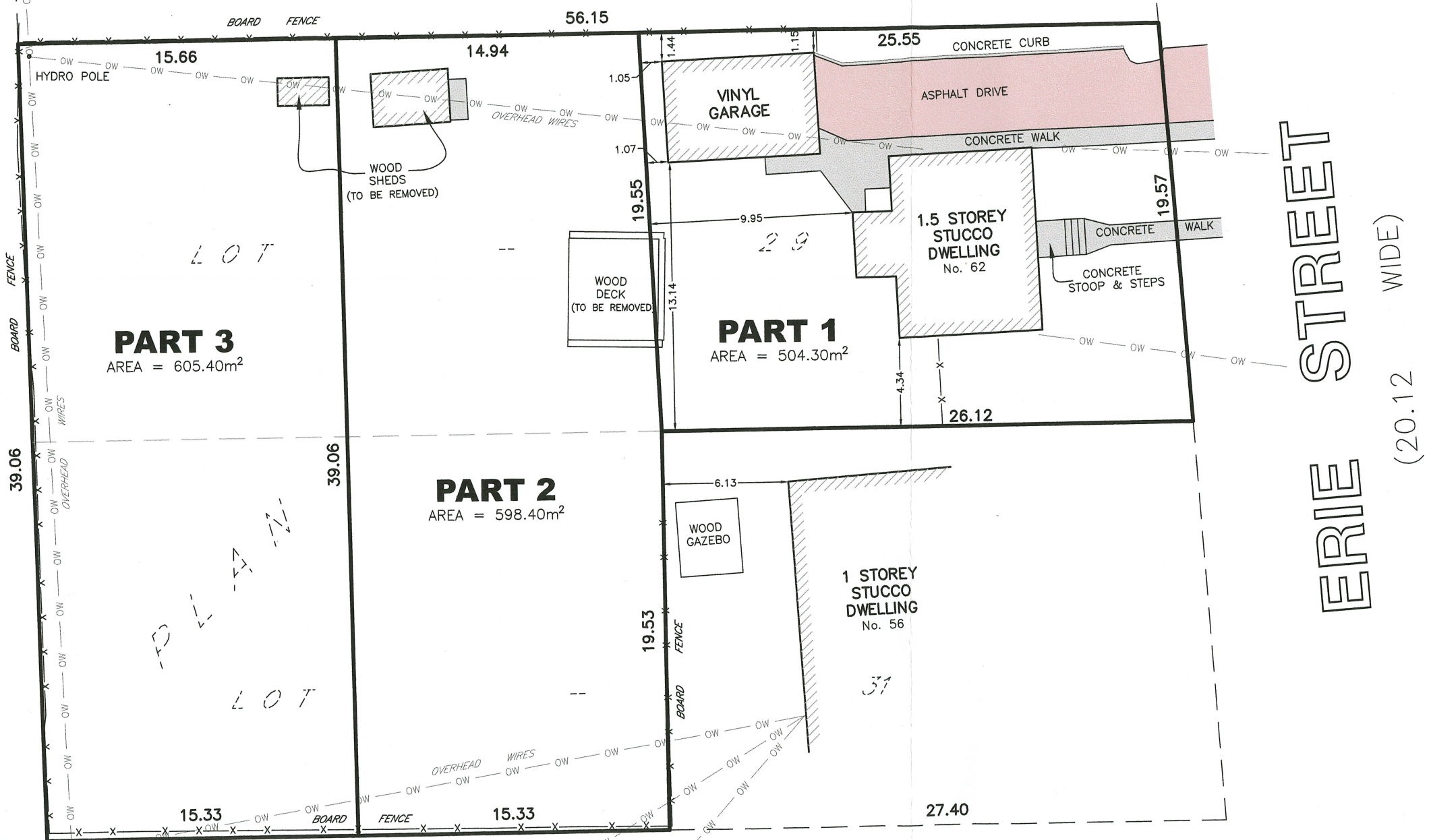
Kelly Martel
Planning Manager

NIAGARA SOUTH CONDOMINIUM PLAN NO 156

LOT 27

LOT

LOT



SKETCH

PREPARED FOR SEVERANCE APPLICATION

LOT 29 AND PART OF LOT 31
PLAN 777
IN THE

CITY OF PORT COLBORNE
REGIONAL MUNICIPALITY OF NIAGARA
SCALE 1 : 250 (METRIC)

NOTE: THIS SKETCH IS PREPARED FROM COMPILED AND CALCULATED INFORMATION, NOT FROM AN ACTUAL SURVEY. DO NOT SCALE FROM THIS DRAWING. ALL MEASUREMENTS ARE +/- MEASUREMENTS. SUBJECT AND ABUTTING LAND USE - RESIDENTIAL

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MAY 1, 2024
DATE 
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DWG 16020-29_SEV FILE 16-20-29

MINTO STREET
(20.12 WIDE)

ERIE STREET
(20.12 WIDE)



PORT COLBORNE

**Committee of Adjustment
-Meeting Minutes-**

Wednesday, June 10, 2026

Members Present: Dan O'Hara, Chair
Gary Bruno, Committee Member
Dave Elliott, Committee Member
Eric Beauregard, Committee Member

Staff Present: Taya Taraba, Secretary-Treasurer

Members Absent: Angie Desmarais, Vice-Chair

1. **Call Meeting to Order**
The Chair called the meeting to order at approximately 5:59 p.m.
2. **Reading of Meeting Protocol**
The Chair read the Meeting Protocol.
4. **Disclosures of Interest**
Nil.
5. **Requests for Deferrals or Withdrawals of Applications**
Nil.
6. **Order of Business**
 - a. **Application:** A08-26-PC
Action: Minor Variance
Agent: Brian Szenasi
Applicant: Les Szenasi
Location: 4444 Miller Road

The Secretary-Treasurer read the correspondence received for the application.

The Chair had asked if the agent would like to speak to the application; the Agent did not have anything to add, as the application is straightforward.

That the Committee of Adjustment have decided **A08-26-PC** be **granted** for the following reasons:

1. The application is minor in nature.
2. It is appropriate for the development of the site.
3. It is desirable and in compliance with the general intent and purpose of the Zoning By-law.
4. It is desirable and in compliance with the general intent and purpose of the Official Plan.

Motion: Dave Elliott **Seconded:** Gary Bruno
Carried: 4-0

b. Application: B06-26-PC; B07-26-PC

Action: Consent to Sever (Boundary Adjustment)

Agent: Lindsay Earl

Applicant: The Estate of June Shisler

Location: 527 Empire Road; 541 Empire Road

The Chair introduced the applications returning to the Committee of Adjustment.

The agent clarified the nature of the application's return, stating that the wording for the Boundary Adjustment's Notices of Decision need to be altered for legal reasons. A presentation was shown depicting that the language was not sufficient to register the severed parcels, due to complications with varying landowners. There are presently three separate landowners under one Estate; the edit would make merging the properties as intended more efficient.

The Agent is looking to rectify this issue so that the Boundary Adjustment can be completed as soon as possible.

The Chair and Member Bruno deliberated about the nature of the application's return and relayed confusion regarding the clerical correction to the Agent. The agent resolved any concerns.

The request for clerical correction was approved, and no further questions were had.

Motion: Gary Bruno **Seconded:** Dave Elliott
Carried: 2-1

7. Other Business

Nil.

8. Approval of Minutes

That the minutes from the May 13th, 2026 meeting be approved.

Motion: Dave Elliott

Seconded: Gary Bruno

Carried: 4-0

9. Adjournment

There being no further business, the meeting was adjourned at approximately 7:14 pm.

Dan O'Hara, Chair

Erik Acs, Acting Secretary-Treasurer