

**Date:** Wednesday, October 8, 2025  
**Time:** 6:00 pm  
**Location:** Committee Room 3-City Hall  
66 Charlotte Street, Port Colborne, Ontario, L3K 3C8

**Pages**

1. Call to Order
2. Adoption of Agenda
3. Reading of Meeting Protocol
4. Disclosures of Interest
5. Request for Any Deferrals or Withdrawals of Applications
6. New Business
  - 6.1 A15-25-PC - 700 Pleasant Beach Road 1

**Action:** Minor Variance

**Applicant:** Jennie Marlatt

**Location:** 700 Pleasant Beach Road
  - 6.2 A16-25-PC; A17-25-PC; B09-25-PC - 159 Main Street East 20

**Action:** Consent

**Applicant:** Daniel Covello

**Location:** 159 Main Street East
  - 6.3 A18-25-PC; A19-25-PC; B10-25-PC - 252 Division Street 70

**Action:** Minor Variance and Consent

**Applicant:** Frank Grsic

**Location:** 252 Division Street
7. Other Business



## **8. Approval of Minutes**

8.1 September 10, 2025, Committee of Adjustment Minutes

124

## **9. Adjournment**

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**Development and Government Relations**

**Planning Division Report**

October 8, 2025

Secretary-Treasurer  
Port Colborne Committee of Adjustment  
66 Charlotte Street  
Port Colborne, ON L3K 3C8

**Re: Application for Minor Variance File No. A15-25-PC  
Humberstone Concession 1 Part Lot 3  
700 Pleasant Beach Road  
Owner(s): Jennie and Brandon Marlatt**

**Proposal**

The purpose of this minor variance application is to facilitate the construction of a new accessory building, as shown in the sketch attached as Appendix A.

The applicant has requested to build an accessory structure in the front yard, where accessory structures are not permitted.

**Surrounding Land Uses and Zoning**

The subject lands are zoned Rural (RU). The parcels surrounding the subject lands are in the Hamlet Residential (HR) zone to the north, RU zone to the east and west, and Rural Residential (RR) to the south. The surrounding uses consist primarily of larger rural lots with residential homes.



*Figure 1 (above): Subject Lands*

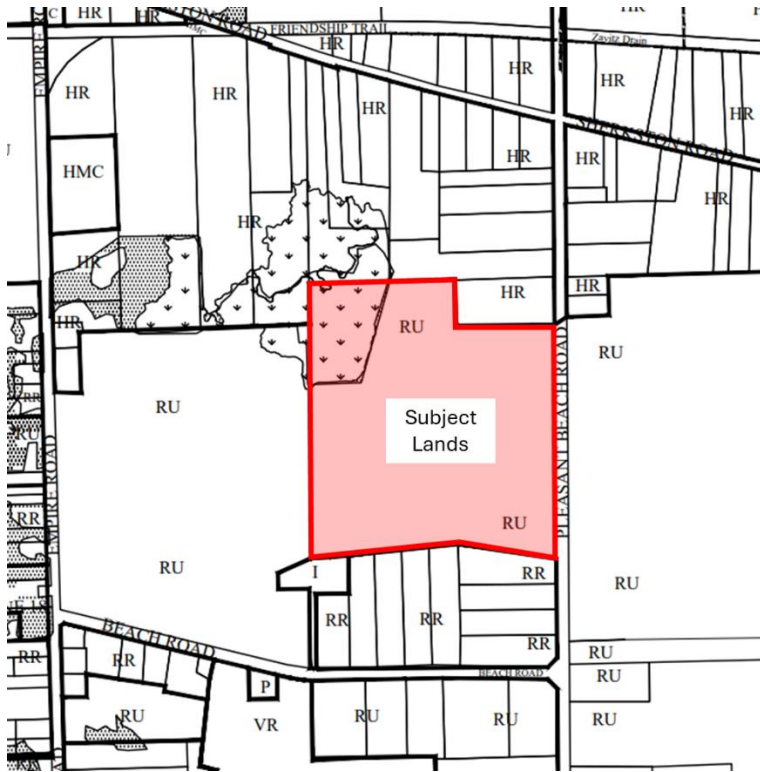


Figure 2 (above): Zoning of the subject and surrounding lands

### Environmentally Sensitive Areas

The subject contains Provincially Significant Wetland (PSW) in the north west corner of the lot. The proposed accessory structure is located approximately 250 metres (820 feet) from the PSW feature. As such, no environmental impact study was require to support this Minor Variance request.

### Minimum Distance Separation

The proposed accessory building is intended to provide shelter for existing livestock, as such, Minimum Distance Separation (MDS) guidelines apply. MDS is a land use planning tool developed by the Ontario Ministry of Agriculture, Food and Rural Affairs. The intent of MDS is to prevent land use conflicts and minimize nuisance complaints from odour. Based on the information provided by the applicant related to their livestock, the following calculations were determined using Agrisuite, the Province's MDS software.

	MDS Setback	Proposed Setback (approx.)
Type B Land Use (neighbouring residential)	78 metres	130 metres
Nearest Lot Line	4 metres	125 metres
Nearest Road Allowance	8 metres	90 metres

Based on the information provided by the applicant, and the calculations determined using the MDS formula, there are no MDS concerns with the proposed accessory structure.

### **Public Comments**

Notice was circulated on September 19, 2025, to properties within 60 metres of the subject lands, in accordance with the *Planning Act*. As of October 3, 2025, no comments from the public have been received.

### **Agency Comments**

Notice of the application was circulated on September 9, 2025, to internal City departments and external agencies. As of October 3, 2025, the following comments have been received.

<b>Commenter</b>	<b>Comments</b>	<b>Planning Staff Response</b>
<b>Drainage Superintendent</b>	No objections.	Noted
<b>Fire Department</b>	No objections.	Noted
<b>Development Engineering</b>	No objections.	Noted
<b>Regional Infrastructure Planning and Development Engineering</b>	No objections.	Noted
<b>Niagara Peninsula Conservation Authority (NPCA)</b>	No objections.	Noted

### **Discussion**

For a minor variance application to be approved, it must meet the four-part test outlined under section 45 (1) of the *Planning Act*. An analysis of the four tests follows.

Requested variance: That an accessory structure be permitted in a front yard, whereas no accessory building shall be located in a front yard or corner side yard.

***Does the application maintain the general intent and purpose of the Zoning By-law?***

The intent of the policy to restrict front and side yard accessory structures is focused on smaller lots, or lots where a dwelling is located close to the road. In these situations, sheds and other accessory buildings located in the front yard close to the road are undesirable. The proposed development maintains the general intent and purpose of this provision as the lot is large enough and the dwelling is sufficiently set back, to accommodate a front yard accessory building.

Accordingly, this application maintains the general intent and purpose of the Zoning By-law.

***Does the application maintain the general intent and purpose of the Official Plan?***

The subject lands are within both the Agricultural and Rural designations in the City's Official Plan. Agricultural activities are a permitted use. Buildings accessory to residential uses are permitted in the Rural and Agriculture designations. This application maintains the general intent and purpose of the City of Port Colborne Official Plan (OP).

***Is the variance desirable for the appropriate development or use of the land, building, or structure?***

The variance has been requested to facilitate the construction of an accessory building on a property in the Rural zone. The lot is large in size and the main dwelling is located more than 200m from the road, leaving significant front yard which is partially utilized as pasture. The requested variance will allow the applicants to locate their accessory building inside an existing fenced livestock area. The requested front yard location of the proposed accessory structure is desirable for the appropriate development of the subject lands.

***Is the variance minor in nature?***

The accessory building is proposed to be located in the front yard, due to the layout of existing structures on the large rural lot. The property is currently used in an agricultural capacity and the proposed building will provide shelter to several livestock. The immediate surrounding land uses are primarily agricultural fields, which will reduce the likelihood of any negative impacts to surrounding parcels. The closest residential use is the parcel abutting the subject property to the north, which is over 120 metres away from where the accessory building is proposed. This distance from neighbouring structures and the surrounding agricultural fields reduce the chance of any compatibility concerns arising from the proposed location of the building in the front yard. As such, the variance requested is minor in nature.

**Recommendation**

Given the information above, Planning staff recommend application A15-25-PC be **granted** for the following reasons:

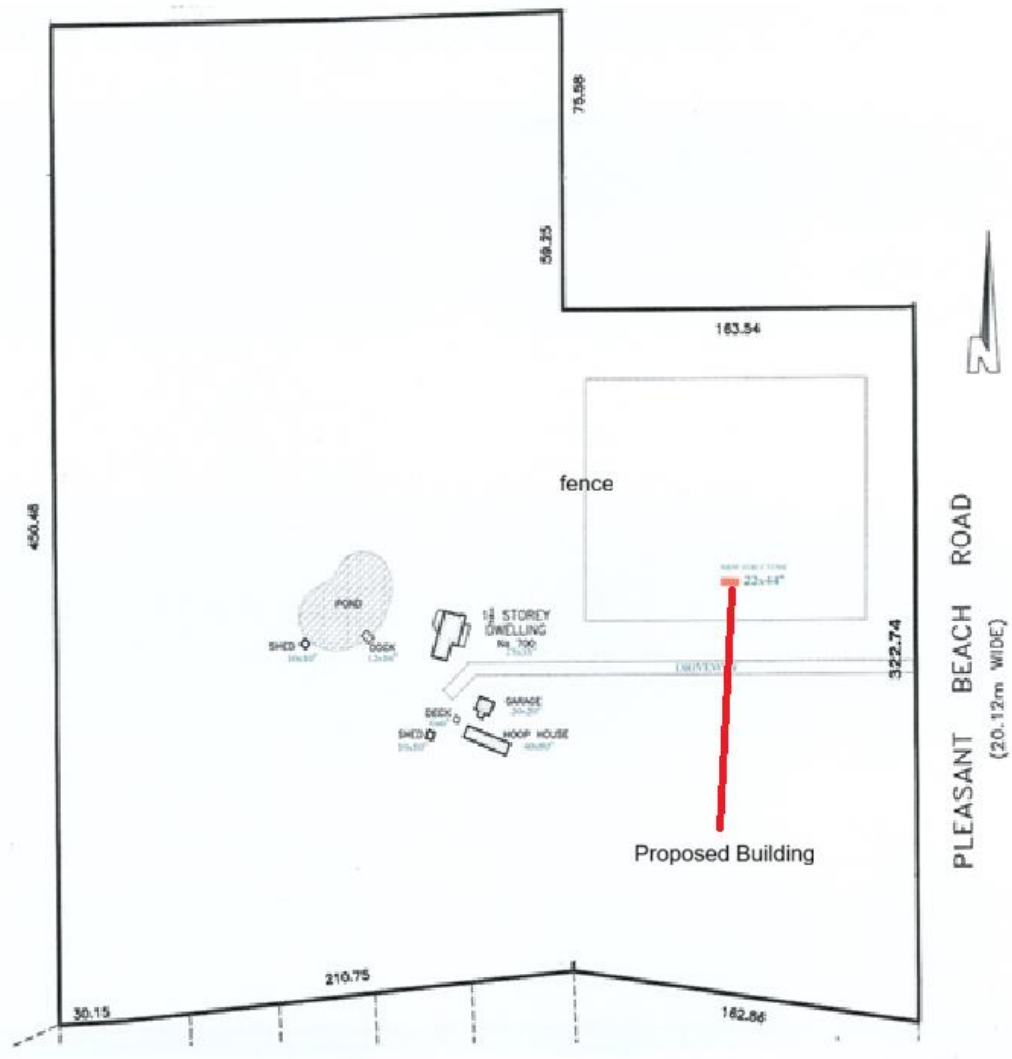
1. **The application is minor in nature.**

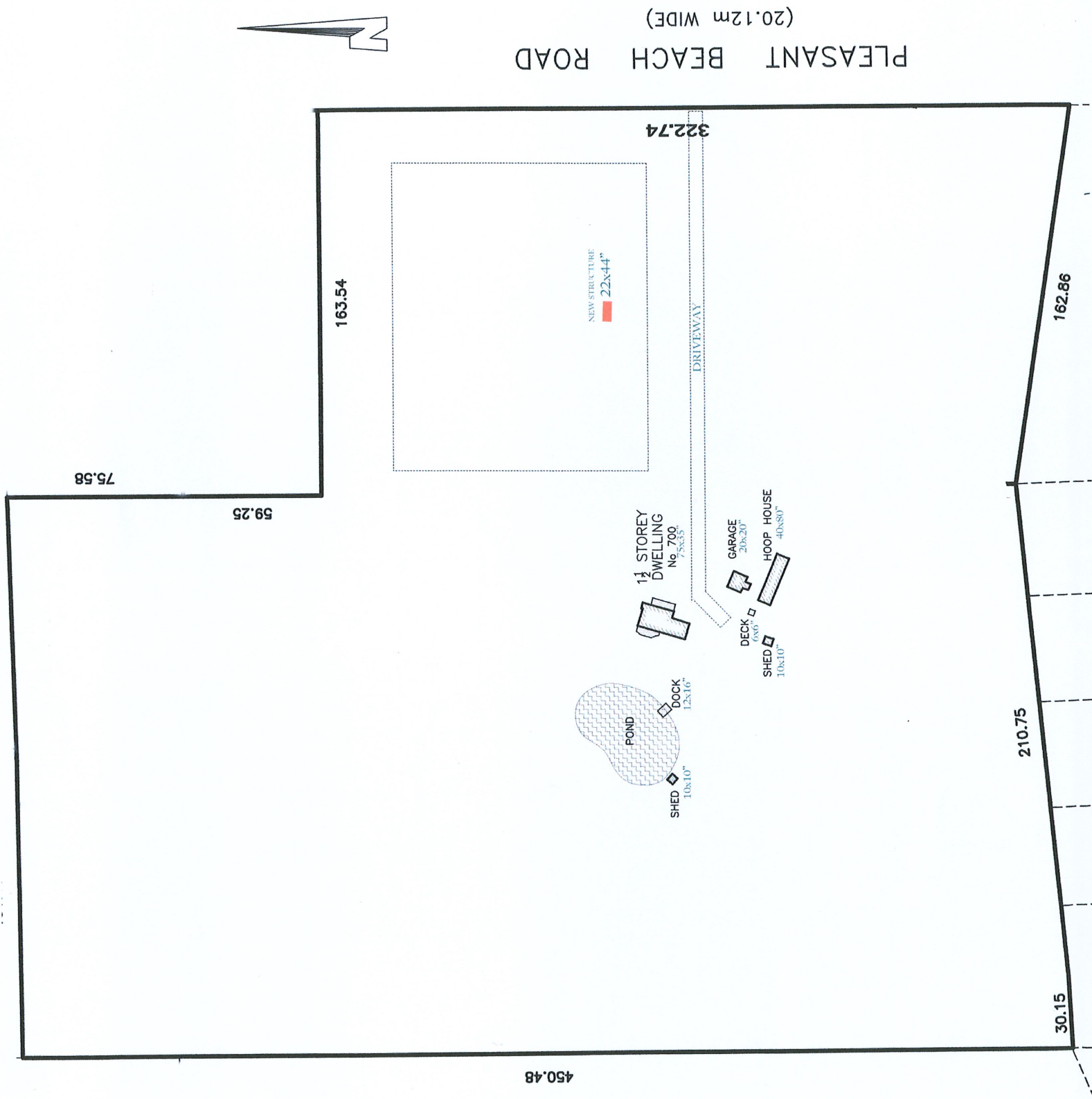
2. **It is desirable for the appropriate development of the land.**
3. **It maintains the general intent and purpose of the Zoning By-law.**
4. **It maintains the general intent and purpose of the Official Plan.**

Respectfully submitted,

Erik Acs  
Chief Planner

## Appendix A





PLEASANT BEACH ROAD  
(20.12m WIDE)





## PORT COLBORNE

DEVELOPMENT AND LEGISLATIVE SERVICES

## MINOR VARIANCE APPLICATION

THE CITY OF PORT COLBORNE

The Planning Act – Section 45

### For Office Use Only

Date Received:

August 18, 2025

Application Complete: ☐ Yes ☐ No

Date of Completion:

### SUBMISSION OF APPLICATION

Completed applications can be sent to:

City of Port Colborne  
 Taya Taraba  
 Secretary Treasurer of the Committee of Adjustment  
 City Hall  
 66 Charlotte Street  
 Port Colborne, Ontario L3K 3C8

Telephone: 1-905-835-2900  
 Fax: 1-905-835-2939  
 Email: taya.taraba@portcolborne.ca

### 2025 APPLICATION FEES

Minor Variance	\$1,900
Minor Variance (Building without a Permit)	\$2,505
Minor Variance & Consent Combination	\$3,800

### COMPLETENESS OF APPLICATION

A complete application includes all required forms, fees, and applicable sketches, as well as any additional information that may be identified by the Secretary-Treasurer in accordance with the provisions under *the Planning Act, R.S.O. 1990, c.P. 13*, as amended.

#### To be considered complete, submitted applications must include:

- One fully completed application for minor variance or permission signed by the applicant(s) and/or authorized agent and properly witnessed by a Commissioner for the taking of affidavits.
- A letter of authorization from the property owner, if applicable.
- **Two (2) copies** of a completed preliminary drawing (see the "Drawing Requirements" section).
- Payment of the appropriate fee submitted at the time of application through cash, credit, debit, or cheque payable to the City of Port Colborne.
- Payment of the appropriate Regional Review & Approval fee(s) if required by the Region, submitted at the time of the preliminary review. Payment can be submitted to the City of Port Colborne or to the Niagara Region. If payment is submitted to the Region directly, please submit the receipt to the City of Port Colborne. Failure to pay the Region's fee may result in an incomplete application. The Region's fees are available on its website, [https://www.niagararegion.ca/business/fpr/forms\\_fees.aspx](https://www.niagararegion.ca/business/fpr/forms_fees.aspx)
- Payment of the appropriate NPCA fee, if required, submitted at the time of the preliminary review. Payment can be submitted to the City of Port Colborne or to the NPCA. If payment is submitted to the NPCA directly, please submit the receipt to the City of Port Colborne. Failure to pay the NPCA's fee may result in an incomplete application.

**\*Note:** Additional information may be required once a full review has been completed by planning staff. This may prevent deferral of your application. \*

## DRAWING REQUIREMENTS

Please submit two copies of each separate plan along with your completed application. Ensure that all the information below is included in the plan(s). Depending on the extent of the proposal, **the Planning Division may request a sketch prepared by a professional, and the Committee may require (at the discretion of the Manager of Planning Services) that the sketch be signed by an Ontario Land Surveyor.** This requirement can be clarified by the Planning Staff. The required sketch should be based on an actual survey by an Ontario Land Surveyor or drawn to a usable metric scale [e.g., 1:100, 1:300, 1:500].

To be considered complete, each sketch must identify:

1. The boundaries and dimensions of the land / lot.
2. The location and nature of any easement affecting the land, if applicable.
3. The location, size, height, and type of all existing and proposed buildings and structures on the land, indicating the distance of the buildings or structures from the front lot line, rear lot line and the side lot lines.
4. The parking areas, loading spaces, driveway entrance / exits.

## PROCEDURES FOR PROCESSING APPLICATIONS FOR MINOR VARIANCE OR PERMISSION

Once the Secretary-Treasurer has received an application, the application will be circulated to external agencies for up to 10 days to determine whether additional information and/or fees are required. Once comments from these agencies have been received, the Secretary-Treasurer will inform the applicant of any additional information and/or fees required by these agencies (ie. Niagara Region, Niagara Peninsula Conservation Authority). If applicable, the applicant must submit this additional information and/or pay the additional fees for their application to be deemed complete. Once the application is deemed complete, a hearing date will be confirmed in writing by the Secretary-Treasurer.

Prior to the hearing, members of the Committee may choose to conduct a site visit and/or contact the applicants. **Please note that the Committee should not be contacted by members of the public.** Any comments, questions, or concerns should be addressed through the Planning Division.

Following the hearing, the applicant/agent/solicitor will be notified of the Committee's decision in a written Notice of Decision. In addition, any other person or agency who filed a written request for the Committee's decision will be sent a copy. Any applicant objecting to the decision of the Committee, or the condition(s) imposed by the Committee may appeal the decision to the Local Planning Appeal Tribunal within 20 days after the Notice of Decision has been given. The notice of appeal, together with written reasons supporting the appeal and the fee, by certified cheque or money order payable to the Minister of Finance, must be filed with the Secretary-Treasurer, who in turn, will forward the appeal to the Local Planning Appeal Tribunal. The fee is \$300.00 for the first application to be appealed and \$25.00 for each additional related minor variance appeal.

## NIAGARA PENINSULA CONSERVATION AUTHORITY REVIEW

Fees which are payable directly to Authority vary depending on the location and on the type of application. For land: abutting or within 15 meters of a water course; on or within 30 meters of the Lake Erie shoreline; on land identified as "Hazard Land" or "Environmental Protection" by the Port Colborne Official Plan or Zoning Bylaw; or within a groundwater recharge / discharge area, aquifer, or headwater on the property or within 30 meters of the property, the Niagara Peninsula Conservation Authority will charge an additional Plan Review Fee. These fees are provided on the Niagara Peninsula Conservation Authority's website.

I acknowledge that I have read, understand, and agree to the terms outlined above.		
Name: <i>Jennie Mallath</i>	Date: <i>Aug 15/2025</i>	Initials: <i>JM</i>





**PORT COLBORNE**

DEVELOPMENT AND LEGISLATIVE SERVICES

## MINOR VARIANCE APPLICATION

THE CITY OF PORT COLBORNE

The Planning Act – Section 45

### SECTION 1 : CONTACT INFORMATION

<b>1.1 Registered Owner (s):</b>	
Name: Jennie and Brandon Marlatt	
Mailing Address: 700 Pleasant Beach Rd	
City: Shelkton	Province: ON
Postal Code: L0S 1R0	Telephone: 289-321-6388
Fax:	Email: marlatt.jennie@gmail.com
<b>1.2 Owner's SOLICITOR (if applicable)</b>	
Name:	
Mailing Address:	
City:	Province:
Postal Code:	Telephone:
Fax:	Email:
<b>1.3 Owner's Authorized AGENT (if applicable)</b>	
Name:	
Mailing Address:	
City:	Province:
Postal Code:	Telephone:
Fax:	Email:
<b>1.4 Owner's ONTARIO LAND SURVEYOR (if applicable)</b>	
Name:	
Mailing Address:	
City:	Province:
Postal Code:	Telephone:
Fax:	Email:
<b>1.5 All communications should be sent to the:</b>	
<input type="checkbox"/> Owner <input type="checkbox"/> Solicitor <input type="checkbox"/> Agent	

### SECTION 2: LOCATION OF SUBJECT LAND

Former Municipality: Humberstone	
Concession No. 1	Lot(s): Part of 3
Registered Plan No.	Lot(s):
Reference Plan No.	Part(s):
Name of Street: Pleasant Beach Rd	Street No. 700

## SECTION 3: SUBJECT LAND DESCRIPTION

Part No. On Sketch:

<b>3.1 Lot Description</b>		
Frontage: 322.74m	Depth: 402	Area: 15.6 hectares
Existing Use: Residential		
Proposed Use: Residential		
<b>3.2 What is the current designation of the land in the Official Plan and the Regional Plan?</b>		
Port Colborne Official Plan: Rural		
Regional Policy Plan: Rural		
<b>3.3 What is the current zoning of the land (By-law 6575/30/18)?</b> Rural		

## SECTION 4: LAND INFORMATION

<b>4.1 Date and Subject Land was acquired by the Current Owner:</b>	
Nov. 31 2016	
<b>4.2 Are there any existing EASEMENTS OR RESTRICTIVE COVENANTS affecting the land?</b>	
<input type="checkbox"/> Yes	If "Yes" describe the easement or covenant and its effect:
<input checked="" type="checkbox"/> No	
<b>4.3 MORTGAGES, Charges &amp; Other Encumbrances:</b>	
List the name(s) and address(es) of any mortgages, charges, or other encumbrances in respect of the land.	
Royal Bank Mortgage 451902375159045	
<b>4.4 DATE OF CONSTRUCTION of all existing buildings and structures on the land:</b>	
UNKNOWN	
<b>4.5 Type of ACCESS</b>	
<input type="checkbox"/> Provincial Highway	<input type="checkbox"/> Municipal Road maintained seasonally
<input type="checkbox"/> Regional Road	<input type="checkbox"/> Right-of-Way
<input checked="" type="checkbox"/> Municipal Road maintained all year	<input type="checkbox"/> Water Access
<input type="checkbox"/> Other Public Road	<input type="checkbox"/> Private Road
<b>4.6 What type of WATER SUPPLY is proposed?</b>	
<input type="checkbox"/> Publicly owned and operated piped water supply	
<input type="checkbox"/> Lake	
<input type="checkbox"/> Well (private or communal)	
<input checked="" type="checkbox"/> Other (specify) St. Cistern	
<b>4.7 What type of SEWAGE DISPOSAL is proposed?</b>	
<input type="checkbox"/> Publicly owned and operated sanitary sewage system	
<input checked="" type="checkbox"/> Septic system (private or communal)	
<input type="checkbox"/> Other (specify)	
<b>4.8 What type of STORMWATER DISPOSAL is proposed?</b>	
<input type="checkbox"/> Publicly owned and operated stormwater system	
<input checked="" type="checkbox"/> Other (specify) Municipal Drain	
<b>4.9 Has a Pre-Consultation application been filed for this proposal?</b>	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes, please indicate the meeting date:	



## SECTION 5: NATURE & EXTENT OF RELIEF FROM THE ZONING BY-LAW

<b>5.1 Nature and Extent of Relief from the Zoning By-law:</b>
<p>We would like to build a shelter for our animals in our farm field. This is a necessary adjustment because all of our open farm fields are in front of our house.</p> <p>We have extensive property in front so it is the most practical location.</p> <p>No interference with any services in this location.</p>
<b>5.2 Why is it not possible to comply with the Zoning By-law?</b>
<p>Property in front of house is farm field and farm building needs to be in front</p>
<b>5.3 Does the structure(s) pertaining to the application for Minor Variance already exist?</b>
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<b>5.4 If the answer to 5.3 is YES, has a building permit been issued?</b>
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

If the answer is "Yes," please provide the following information:

File Number:
Decision:

## SECTION 6: ALL EXISTING, PREVIOUS AND ADJACENT USE OF THE LAND

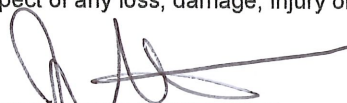
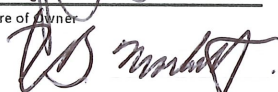
<b>8.1 ALL EXISTING USE</b>		
<input type="checkbox"/> Residential <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial	<input type="checkbox"/> Institutional <input type="checkbox"/> Agricultural <input type="checkbox"/> Parkland	<input type="checkbox"/> Vacant <input type="checkbox"/> Other (specify): <u>Rural</u>
<b>8.2 What is the length of time the existing use(s) of the land have continued?</b>		
<u>Unknown</u>		
<b>8.3 Are there any buildings or structures on the subject land?</b>		
<input checked="" type="checkbox"/> Yes <span style="margin-left: 100px;"><input type="checkbox"/> No</span>		
If Yes, briefly describe and indicate their use. <u>Out buildings</u>		

8.4 Are any of these buildings designated under the Ontario Heritage Act?		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
8.5 Has the grading of the subject land been changed by adding earth or material? Has filling occurred on the subject land?		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
8.6 Has a gasoline station and/or automobile service station been located on the subject land or adjacent lands at any time?		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
8.7 Has there been petroleum or other fuel stored on the subject land or adjacent lands?		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
8.8 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
8.9 Have the lands or adjacent lands ever been used as an agricultural operation where pesticides have been applied to the lands?		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
8.10 Have the lands or adjacent lands ever been used as a weapon firing range?		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
8.11 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the boundary line of an operational / non-operational public or private landfill or dump?		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
8.12 If there are existing or previously existing buildings on the subject lands, are there any building materials remaining on site which are potentially hazardous to public health (e.g., asbestos, PCB's)?		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
8.13 If there has been industrial or commercial uses on the property, a previous use inventory is needed. Is a previous use inventory attached?		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
8.14 Is there reason to believe the subject lands may have been contaminated by existing or former uses on the site or adjacent sites?*		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
<p>If previous use of property is industrial or commercial or if the answer was YES to any of the above, please attach a previous use inventory showing all former uses of the land, or if applicable, the land(s) adjacent to the land.</p> <p>*Possible uses that can cause contamination include operation of electrical transformer stations, disposal of waste minerals, raw material storage, and residues left in containers, maintenance activities, and spills. Some commercial properties such as gasoline stations, automotive repair garages, and dry-cleaning plants have similar potential. Any industrial use can result in potential contamination. The longer a property is under industrial or similar use, the greater the potential for site contamination. Also, a series of different industrial or similar uses upon a site could potentially increase the number of chemicals which are present.</p>		

## ACKNOWLEDGMENT CLAUSE

I hereby acknowledge that it is my responsibility to ensure that I am in compliance with all applicable laws, regulations and standards pertaining to contaminated sites. I further acknowledge that the City of Port Colborne is not responsible for the identification and / or remediation of contaminated sites, and I agree, whether in (or as a result of) any action or proceeding for environmental clean-up of any damage or otherwise, I will not sue or make claim whatsoever against the City of Port Colborne, its officers, officials, employees or agents for or in respect of any loss, damage, injury or costs.

X Aug 15<sup>th</sup> / 25  
Date

X   
Signature of owner  




## NIAGARA PENINSULA CONSERVATION AUTHORITY

### Pre-Screening Criteria

<b>9.1 Is there land on the property identified in the Official Plan and / or Zoning By-law as "hazard lands"?</b>		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
<b>9.2 Is there a watercourse or municipal drain on the property or within 15 metres of the property?</b>		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
<b>9.3 Is the property located on or within 30 metres of the Lake Erie shoreline?</b>		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
<b>9.4 Is there a valley slope on the property?</b>		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
<b>9.5 Is there known localized flooding or a marsh / bog area on or within 30 metres of the property?</b>		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
<b>9.6 Is the property on a Regional Road?</b>		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown

## AUTHORIZATIONS

### SIGNATURE OF APPLICANT(S)

X Aug 15/25  
Date

X [Signature]  
Signature of Applicant(s)

Please note: If the applicant is not the owner of the subject land or there is more than one owner, written authorization of the owner(s) is required (Complete Form 1) indicating that the applicant is authorized to make application.

I/We Brandon and Jennie Marlatt

Of the City/Town/Township of Port Colborne

In the County/District/Regional Municipality of Niagara

solemnly declare that all the statements contained in this application are true, and I/we make this solemn declaration conscientiously believing it to be true, and knowing that it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.

DECLARED before me at the City of Port Colborne  
In the Region of Niagara  
This 18<sup>th</sup> day of August  
20 25

A Commissioner, etc.

TO BE SIGNED IN THE PRESENCE OF A  
COMMISSIONER FOR TAKING AFFIDAVITS

X

Signature of applicant(s), solicitor, or authorized

Personal information collected on this application will become part of a public record. Any questions regarding this collection should be directed to the City Clerk at 66 Charlotte Street, Port Colborne, Ontario L3K 3C8 (905) 835-2900 Ext. 106.

Diana Vasu, a Commissioner, etc.,  
Province of Ontario, for the Corporation  
of the City of Port Colborne,  
Expires July 3, 2026.



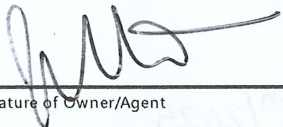
### POSTING OF PUBLIC HEARING SIGN

A public hearing sign is required to be posted by all applicants or agents on each property under application. A sign will be made available to you after review of your application, and you are required to post each sign in a prominent location on the subject property. The sign should be placed so that it is legible from the roadway.

Each sign must remain posted a minimum of 14 days prior to the hearing, until the day following the hearing. Should a sign go missing or become damaged or illegible please contact the Secretary-Treasurer as soon as possible to request a replacement sign. Failure to post the sign as required may result in deferral of your application(s).

**\*Please note that an affidavit must also be signed and commissioned in the presence of a Commissioner of Oaths. This can be done at City Hall AFTER the signs have been posted.\***

I/We Jennie Marlatt + Brandon Marlatt am/are the owner(s) of the land subject to this application for a Minor Variance and I/We agree to post the required sign(s) a minimum of 14 days prior to the hearing and will remain posted, and replaced, if necessary, until the day following the hearing.

X   
Signature of Owner/Agent

X Aug 15<sup>th</sup>/2025  
Date

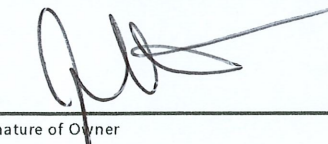
X   
Signature of Owner/Agent

X Aug 15<sup>th</sup>/2025  
Date

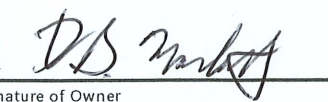
### PERMISSION TO ENTER

I/We Jennie Marlatt + Brandon Marlatt am/are the owner(s) of the land subject to this application for a Minor Variance and I/We authorize the members of the Committee of Adjustment and the City of Port Colborne Planning Staff to enter onto the property for the purpose of evaluating the merits of the application(s).

**\*Please note that the Committee should not be contacted by members of the public. Any comments, questions or concerns should be addressed through the Planning Division.\***

X   
Signature of Owner

X Aug 15<sup>th</sup>/2025  
Date

X   
Signature of Owner

X Aug 15<sup>th</sup>/2025  
Date

## AUTHORIZATION FOR AGENT / SOLICITOR (IF APPLICABLE)

If the application is not the owner of the land that is subject to this application for a Minor Variance, the authorization set out below must be completed by the owner(s). All registered owners must complete the authorization form for it to be valid.

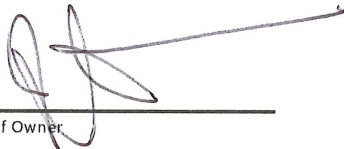
Please Note: If the registered owner is a corporation, in addition to the signatures of the authorized signing officers, the corporate seal must be affixed.

Where the Owner is without a spouse, common-law or legally married, the Owner is required to sign only once. Where the spouse of the Owner is not an owner, the spouse is required to sign. Spouse shall include a common-law spouse as defined within the *Family Law Reform Act*.

I/We Jennie Marlatt + Brandon Marlatt am/are the owner(s) of the land that is subject to this application for a Minor Variance and I/We hereby authorize as my/our agent for the purposes of submitting an application(s) to the Committee of Adjustment for a Minor Variance.

X

Signature of Owner



X

Date

Aug 15<sup>th</sup>/2025

X

Signature of Owner



X

Date

Aug 15<sup>th</sup>/2025

X

Signature of Agent

X

Date



## SUGGESTION TO THE APPLICANT

Notice of your application is required for several agencies. All written responses will be considered before reaching a decision on your application.

Although you are under no obligation to do so, we suggest that you discuss your intentions with the appropriate agencies from the list below, before submitting an application. This pre-consultation could provide you with information about the City of Port Colborne Official Plan, the minimum requirements and permitted uses of Zoning By-law 6575/30/18, the Regional Policy Plan, the concerns of various Provincial Ministries, and other relevant information which may have a direct effect upon the final decision on your application.

1. Port Colborne Planning and Development Department  
66 Charlotte Street, Port Colborne, Ontario L3K 3C8  
General Planning Department  
(905) 835-2900, Ext. 286  
Information on the Port Colborne Official Plan and Zoning Bylaw
2. Port Colborne Planning and Development Department  
66 Charlotte Street, Port Colborne, Ontario L3K 3C8  
Engineering Technologist  
(905) 835-2900, Ext. 226  
Information on Servicing, Lot Grading and Drainage
3. Port Colborne Building Division  
66 Charlotte Street, Port Colborne, Ontario L3K 3C8  
Building Clerk  
(905) 835-2900, Ext. 229  
Information about the Building Code
4. Region of Niagara Public Works Department  
Planning and Development Department  
1815 Sir Isaac Brock Way, Thorold, Ontario L2V 4T7  
(905) 980-6000, Ext. 3727  
Information about the Regional Policy Plan, Agriculture, Public Works & Regional Health, and for concerns regarding Provincial Policy and Ministry responsibilities
5. The Niagara Peninsula Conservation Authority  
250 Thorold Road West, Welland, Ontario L3C 3W2  
Watershed Planner  
(905) 788-3135, Ext. 272  
For information about lands which may be zoned as "Hazard" in the local zoning by law, lands adjacent to watercourses, Lake Erie or flood plains
6. Ministry of Transportation of Ontario  
Corridor Management Section  
159 Sir William Hearst Ave, 7<sup>th</sup> Floor, Toronto, Ontario M3M 1J8  
For information about sight plan applications for lands fronting onto provincial highways
7. Ministry of Transportation of Ontario  
Corridor Management Section  
1201 Wilson Avenue, Bldg D, 7<sup>th</sup> Floor, Downsview, ON, M3M 1J8  
1-866-636-0663  
For information about official plan amendments, consents, re-zonings, and other inquiries for lands fronting onto provincial highways
8. Ministry of Municipal Affairs and Housing. *Provincial Policy Statement* (PPS) available for download (On-line) at: <http://www.mah.gov.on.ca>  
Under "Your Ministry" – Land Use Planning – Provincial Policy Statement



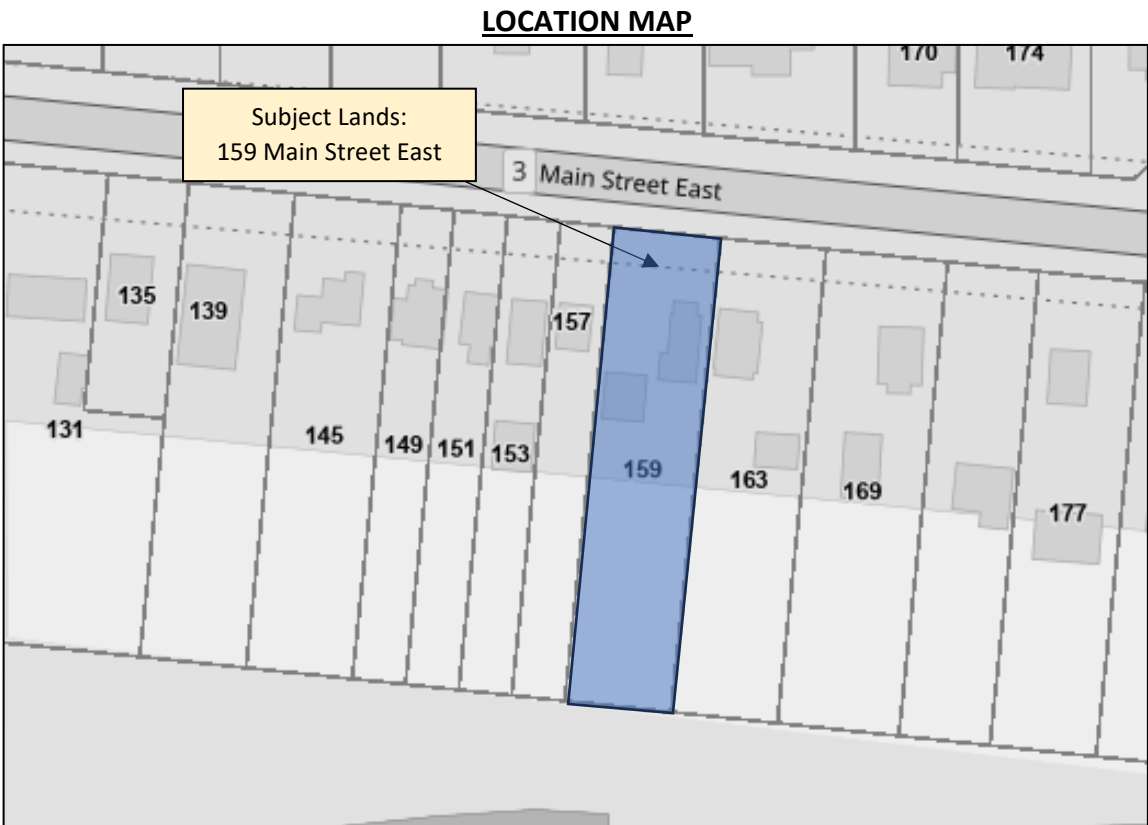
**IN THE MATTER OF** the *Planning Act, R.S.O., 1990*, c.P. 13, Section 53 (1) and Sections 21.3 (a) and (b) of the City of Port Colborne Zoning By-law 6575/30/18, as amended;

**AND IN THE MATTER OF** the lands legally known as Concession 2, Part Lot 25, in the City of Port Colborne, located in the Mixed Use (MU) zone, municipally known as 159 Main Street East;

**AND IN THE MATTER OF AN APPLICATION** by the owner, Daniel Covello, for consent to sever for the purposes of creating a new residential lot. The subject parcels are shown as Parts 1 and 2 on the proposed sketch, where Part 2 is to be retained for an existing residential use and Part 1 is to be severed for a future residential use. The owner is also requesting relief from the provisions of Zoning By-law 6575/30/18, as amended, under section 45 of the *Planning Act, R.S.O 1990 C.P 13*, to permit the severance of the lands, notwithstanding the following:

Application Number	Request
A16-25-PC	That a minimum lot frontage of 9.3m be permitted, whereas a minimum lot frontage of 15m is required.
A17-25-PC	That a minimum lot frontage of 12m be permitted, whereas a minimum lot frontage of 15m is required.
A17-25-PC	That a minimum lot area of 405m <sup>2</sup> be permitted, whereas a minimum lot area of 500m <sup>2</sup> is required.

**Explanatory Relief from the Zoning By-law:** The applicant is requesting permission to sever the property with a smaller lot size and frontage, for future residential purposes, which requires a minor variance from the provisions of the Zoning By-law. A sketch of the proposed site plan is shown on the reverse side of this notice. More information, such as a higher resolution PDF version of the sketch, can be requested through the Secretary-Treasurer.



**PLEASE TAKE NOTICE** that this application will be heard in-person and virtually by the Committee of Adjustment as shown below:

Date:

October 8, 2025

Time:

6:00 p.m.

Location:

66 Charlotte Street – Third Floor Council Chambers and Virtually via Zoom

**PUBLIC HEARING:** You are entitled to participate and express your views about this application, or you may be represented by counsel for that purpose. The Planning Division's report may be available for public inspection by **Friday, October 3, 2025**. If you are receiving this notice as the owner of land that contains multiple residential units, please post this in a location that is visible to all tenants.

The meeting will be held in person and will be livestreamed on the City's YouTube channel.

Anyone wishing to participate in the meeting can attend either virtually or in-person and is encouraged to submit a written submission that will be circulated to the Committee of Adjustment prior to the meeting. All comments submitted are part of the public record. If anyone wishes to orally participate in the meeting, they must pre-register with the Secretary-Treasurer. **Written submissions and participation requests must be received by 12:00 p.m. on Tuesday, October 7, 2025**, by emailing [taya.taraba@portcolborne.ca](mailto:taya.taraba@portcolborne.ca) or by calling (905)-228-8124. Written submissions may also be submitted to the mail slot located in the front-left of City Hall; 66 Charlotte Street.

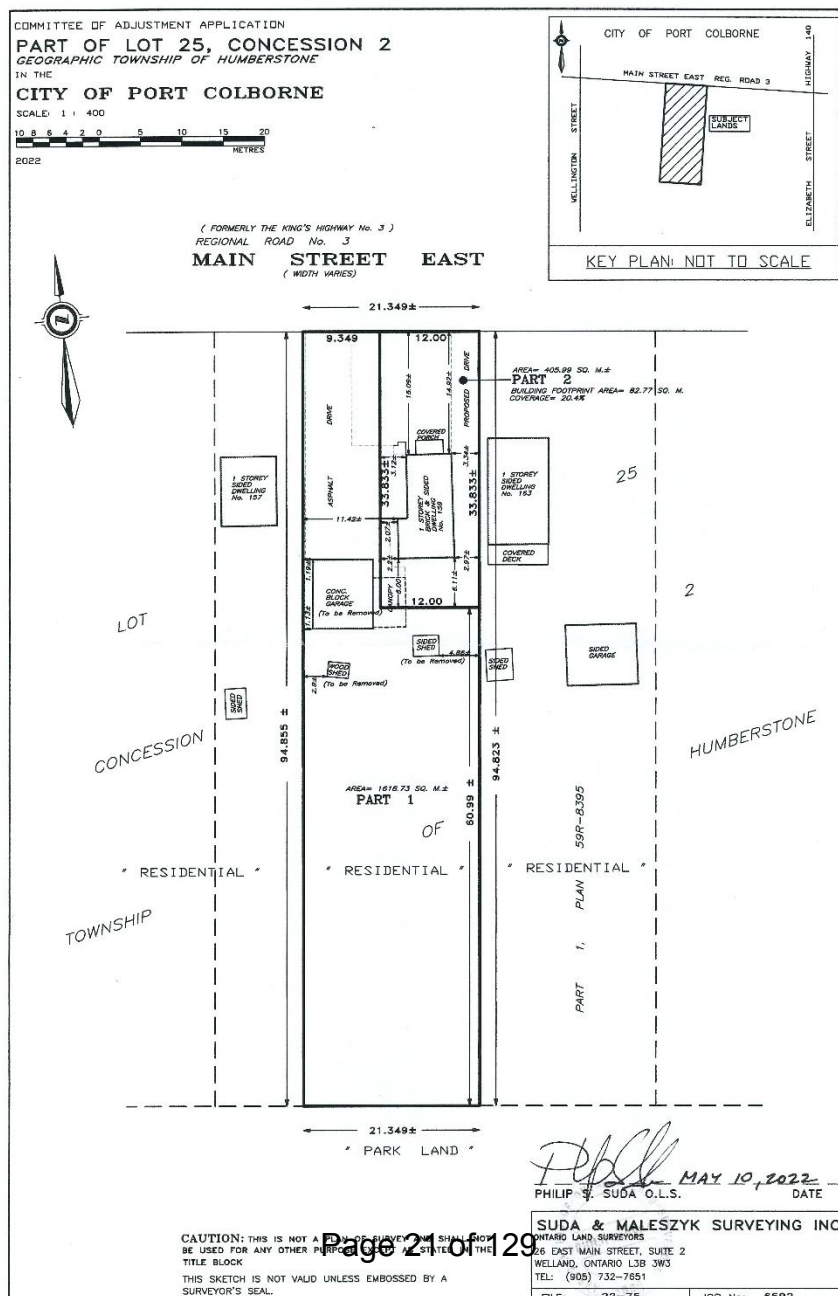
If you have any questions about the application(s) or submission process, please email [taya.taraba@portcolborne.ca](mailto:taya.taraba@portcolborne.ca) or call (905)-228-8124.

If you wish to be notified of the decision of the Committee of Adjustment in respect to this application, you must submit a written request to the Secretary-Treasurer.

By order of the Committee of Adjustment,

Taya Taraba  
Secretary-Treasurer

## SKETCH





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**Development and Government Relations**

**Planning Division Report**

October 8, 2025

Secretary-Treasurer  
Port Colborne Committee of Adjustment  
66 Charlotte Street  
Port Colborne, ON L3K 3C8

**Re: Application for Minor Variance File No. A16-25-PC and A17-25-PC  
159 Main Street East  
Agent: Daniel Covello, Covello Developments Inc.  
Owner: Daniel Covello, Covello Developments Inc.**

**Proposal**

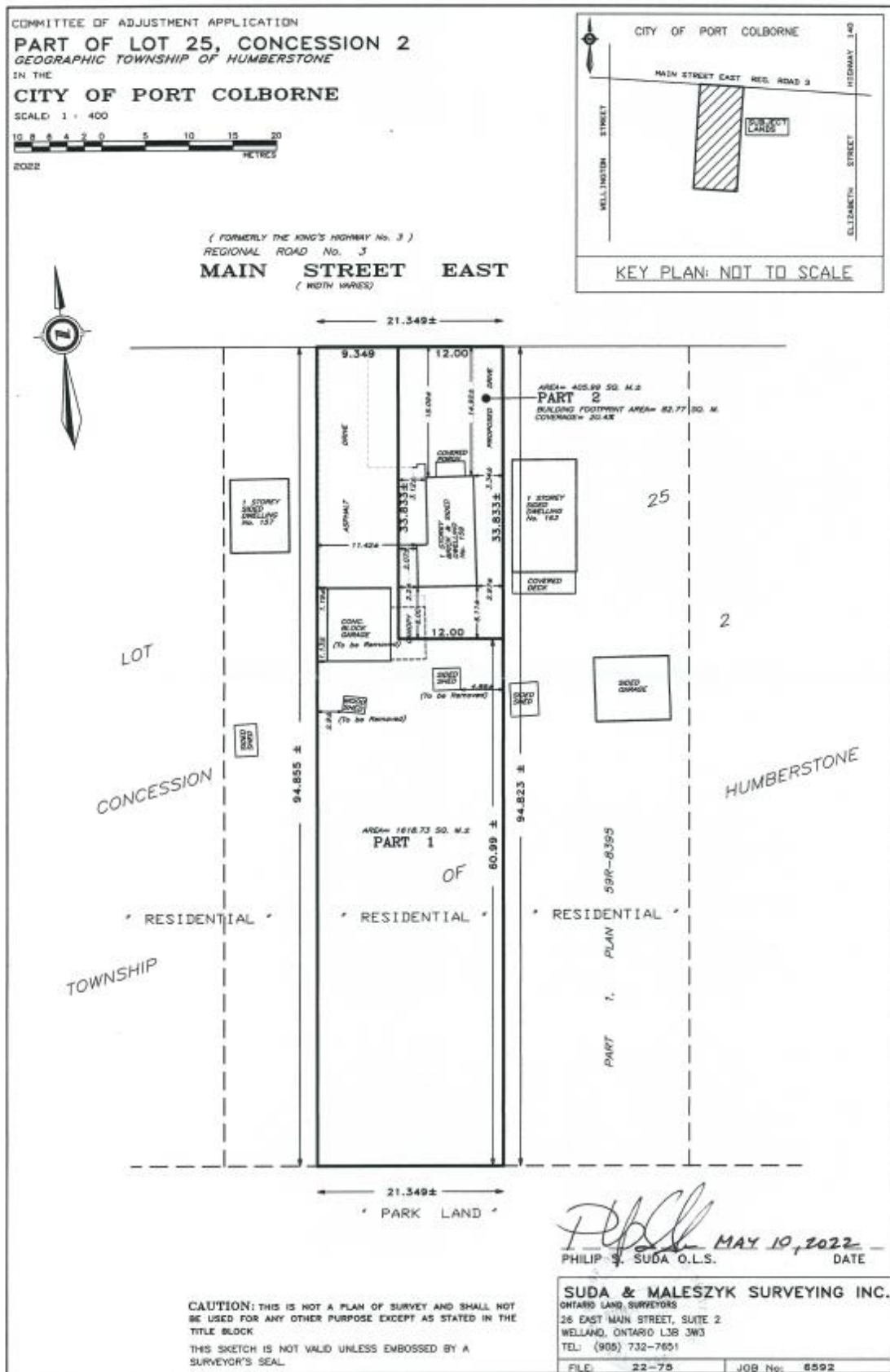
The applicant has applied to sever the Subject Lands located at 159 Main Street East, for the purpose of creating a new lot to facilitate the future development of the new parcel for residential purposes. An air photo outlining the subject lands is shown on Figure 1.

The purpose of this minor variance application is to facilitate the redevelopment of Parcel 1 for multi-unit residential purposes; and, allow the existing single detached dwelling on Parcel 2 to continue. A copy of the proposed severance sketch is shown on Figure 2.

The applicant has requested a minimum lot frontage of 9.3 metres for the severed parcel; a minimum lot frontage of 12 metres for the retained parcel; and, a minimum lot area of 405 square metres for the retained parcel.



*Figure 1 (above): Subject Lands*





## Surrounding Land Uses and Zoning

The parcels surrounding the subject lands are zoned Mixed Use (MU) and Highway Commercial (HC) and include a mixture of residential, commercial and highway commercial uses. Figure 3 shows the zoning of the subject and surrounding lands.

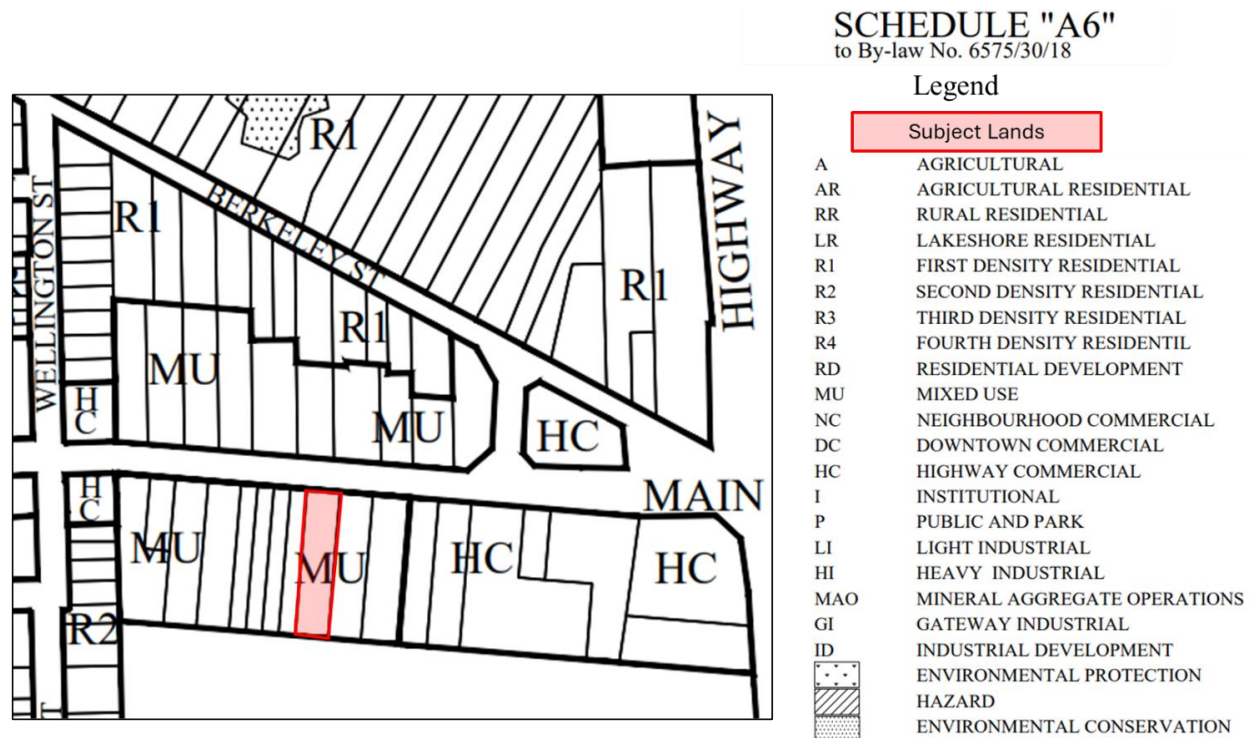


Figure 3 (above): Zoning of the subject and surrounding lands

## Environmentally Sensitive Areas

The subject lands do not contain any environmentally sensitive areas

## Public Comments

Notice was circulated on September 19, 2025, to properties within 60 metres of the subject lands, in accordance with the *Planning Act*. As of October 3, 2025, no comments from the public have been received.

## Agency Comments

Notice of the application was circulated on September 9, 2025, to internal City departments and external agencies. As of October 3, 2025, the following comments have been received.

<b>Commenter</b>	<b>Comments</b>	<b>Planning Staff Response</b>
<b>Drainage Superintendent</b>	No objections.	Noted
<b>Fire Department</b>	Note the address of the existing property needs to be changed to reflect the correct sequencing of the house numbers on the street	This has been included as condition of the consent application
<b>Engineering Technologist</b>	Development Engineering has no comments on this consent (severance) application.  Please be advised that a Municipal Consent permit will be required to service the newly created lot	Noted
<b>Niagara Peninsula Conservation Authority</b>	Based on the NPCA Mapping the subject property does not contain and is not impacted by NPCA Regulated Features. Therefore, the NPCA has no objections	Noted
<b>Ministry of Transportation (MTO)</b>	MTO is supportive of the Minor Variance Applications (A16-25-PC and A17-25-PC)  This address is within MTO's Permit Control Area. Any changes to the site or construction of new dwellings will require MTO Residential Building & Land Use Permits. Further information regarding requirements for our Building and Land Use Permit Applications, and Sign Permit Application requirements is also available from our office by contacting Matthew Prestinaci, the Corridor Management Officer for this area and he can be reached at (416) 300-6508 or by email at matthew.prestinaci@ontario.ca.	This has been included as condition of the consent application

### **Discussion**

The applications are requesting the following variances:

- For Parcel 1 (A16-25-PC): that a lot frontage of 9.3 metres be permitted; and,
- For Parcel 2 (A17-25-PC): that a lot frontage of 12 metres and a lot area of 405 square metres be permitted

For a minor variance application to be approved, it must meet the four-part test outlined under section 45 (1) of the *Planning Act*. An analysis of the four tests follows.

Parcel 1 (A16-25-PC)

***Does the application maintain the general intent and purpose of the Zoning By-law?***

The general intent of the Zoning By-law provisions related to lot frontage is to ensure that lots are of sufficient width to accommodate appropriate building placement, access, and servicing, while maintaining the character of the surrounding area.

In this case, the proposed reduced frontage of 9.3 metres is consistent with the established pattern of development along Main Street East, where adjacent properties at 149, 151, 153, and 157 Main Street East have frontages ranging from approximately 10.5 metres to 9.8 metres. This context sets a precedent for considering reduced frontages in the area and supports the compatibility of the proposed lot configuration.

Furthermore, the subject property is flag-shaped, with the lot widening significantly toward the rear. This configuration provides space for development and mitigates concerns typically associated with narrow frontages, such as limited building envelope or constrained access.

Accordingly, the proposed variance maintains the general intent and purpose of the Zoning By-law by respecting the established lot pattern, providing sufficient space for development, and ensuring compatibility with the surrounding area.

***Does the application maintain the general intent and purpose of the Official Plan?***

The subject lands are designated Highway Commercial in accordance with Schedule A of the OP. Section 3.8 of the OP identifies the planned function of the Highway Commercial designation as follows:

*“The predominant uses for lands designated Highway Commercial shall include, but not be limited to; hotels and motels; automobile sales and service establishments; places of amusement or recreation; restaurants with take-out and/or drive-through facilities; and accessory uses to the aforementioned uses, including a residence for a caretaker. For lands having frontage on Main Street East between the Welland Canal and Elizabeth Street, a mix of uses including both commercial and residential uses are permitted in accordance with the appropriate Policies.”*

The Official Plan permits a mix of uses, including residential, within the Highway Commercial designation, provided the proposed development is compatible with surrounding uses and complies with applicable policies.

The proposed variance is being requested in order to facilitate redevelopment of the newly created parcel for uses consistent with the OP designation. The reduced frontage does not compromise the ability of the site to function effectively within the corridor. The

flag-shaped lot provides sufficient depth and area to accommodate new infill development. As such, the application maintains the general intent and purpose of the Official Plan.

***Is the variance desirable for the appropriate development or use of the land, building, or structure?***

The proposed variance facilitates the creation of a lot that is compatible with the surrounding development pattern and supports infill and intensification within a mixed-use corridor. The flag-shaped configuration allows for sufficient building area, access, and separation from adjacent properties. The reduced frontage does not hinder the functionality of the lot or its ability to support a multi-unit residential building. The lot is large enough to accommodate development without creating adverse impacts on neighbouring properties or the streetscape. As such, the variance is desirable for the appropriate development and use of the land.

***Is the variance minor in nature?***

Frontage requirements within the Mixed Use zone vary, depending on the use. For mixed use buildings, the required minimum frontage is 15 metres and for multi-unit residential buildings, the required minimum frontage is 18 metres. It is understood that the applicant is proposing to redevelop the lands for multi-unit residential purposes. The proposed frontage of 9.3 metres falls below both thresholds. However, the unique configuration of the lot and its context mitigate potential concerns. The frontage proposed is consistent with the context of the adjacent properties; and, the property's flag-shaped configuration further supports the minor nature of the variance.

Although the frontage is narrow at the street, the lot widens significantly toward the rear, providing sufficient area for development and mitigating concerns typically associated with narrow frontages, such as limited access, constrained building envelopes, or visual impacts on the streetscape. Accordingly, the variance is considered to be minor in nature.

**Parcel 2 (A17-25-PC)**

The application submitted requested relief from Section 21.3 of the Zoning By-law, to permit a frontage of 12 metres where 15 metres is required; and, a lot area of .04ha where .05ha is required.

The existing use on this parcel is a single detached dwelling. A single detached dwelling is a permitted use in the MU zone. Based on staff's review, it was determined that the provisions of Section 21.3 does not apply, but rather Section 21.4 of the by-law applies, as this section sets out the zone requirements for detached dwellings. Section 21.4 identifies that a minimum lot frontage of 12 metres and a minimum lot area of 0.04 hectares is required. The zone requirements of Section 21.4 are met on Parcel 2. As such, staff have determined that variances are not required and are recommending that A17-25-PC be withdrawn.

## Recommendation

Given the information above, Planning staff recommend that application A-17-25 be **withdrawn** and that application A15-25-PC be **granted** for the following reasons:

1. **Application A-17-25 is not required as the applicable provisions of the zoning by-law respecting single detached dwellings in the MU zone are met.**
2. **Application A-17-25 is minor in nature.**
3. **Application A-17-25 is desirable for the appropriate development of the land.**
4. **Application A-17-25 maintains the general intent and purpose of the Zoning By-law.**
5. **Application A-17-25 maintains the general intent and purpose of the Official Plan.**

Respectfully submitted,

Kelly Martel  
Planning Manager

**Development and Government Relations Department**  
Planning Division Report

October 8, 2025

Secretary-Treasurer  
Port Colborne Committee of Adjustment  
66 Charlotte Street  
Port Colborne, ON L3K 3C8

**Re: Application for Consent: B25-25-PC**  
**Concession 2, Part Lot 25**  
**159 Main Street East**  
**Agent: Daniel Covello, Covello Developments Inc.**  
**Owner: Daniel Covello, Covello Developments Inc.**

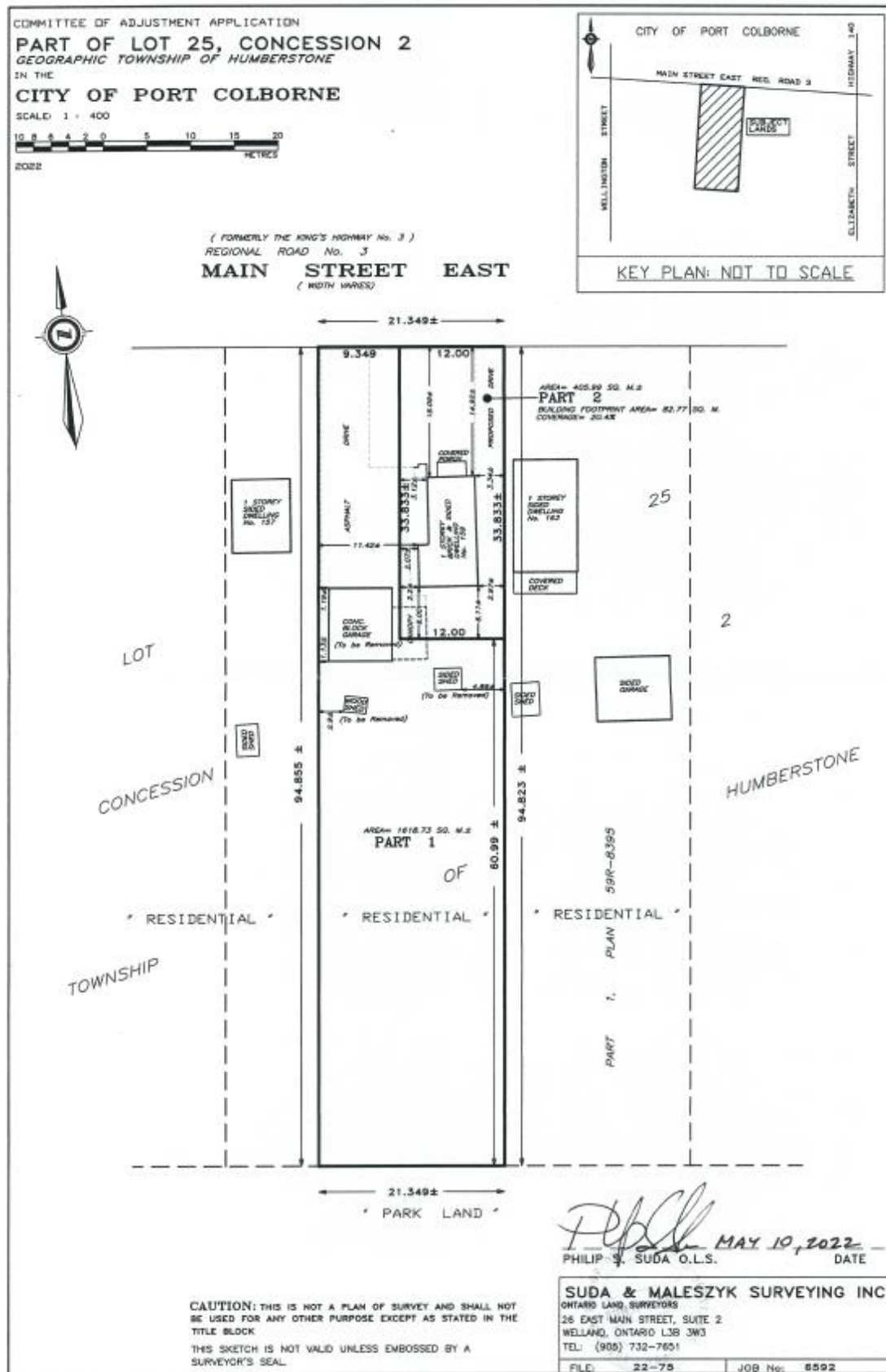
**Proposal**

The purpose of this application to permit the severance of the parcel at 159 Main Street East, for the purpose of creating a new lot, as illustrated in the provided figures and described below:

- **Part 1** is proposed to **be severed**, with a lot frontage of 9.349 metres and a lot area of 1,618 square metres, for future residential use. The attached sketch identifies that the existing garage, sided shed and wood shed will be removed.
- **Parcel 2** is proposed to **be retained**, with a lot frontage of 12 metres and a lot area of 405.99 square metres. The existing single detached dwelling will remain.



*Figure 1 (above): Subject Lands*





## Surrounding Land Uses and Zoning

The parcels surrounding the subject lands are zoned Mixed Use (MU) and Highway Commercial (HC) and include a mixture of residential, commercial and highway commercial uses. Figure 3 shows the zoning of the subject and surrounding lands.

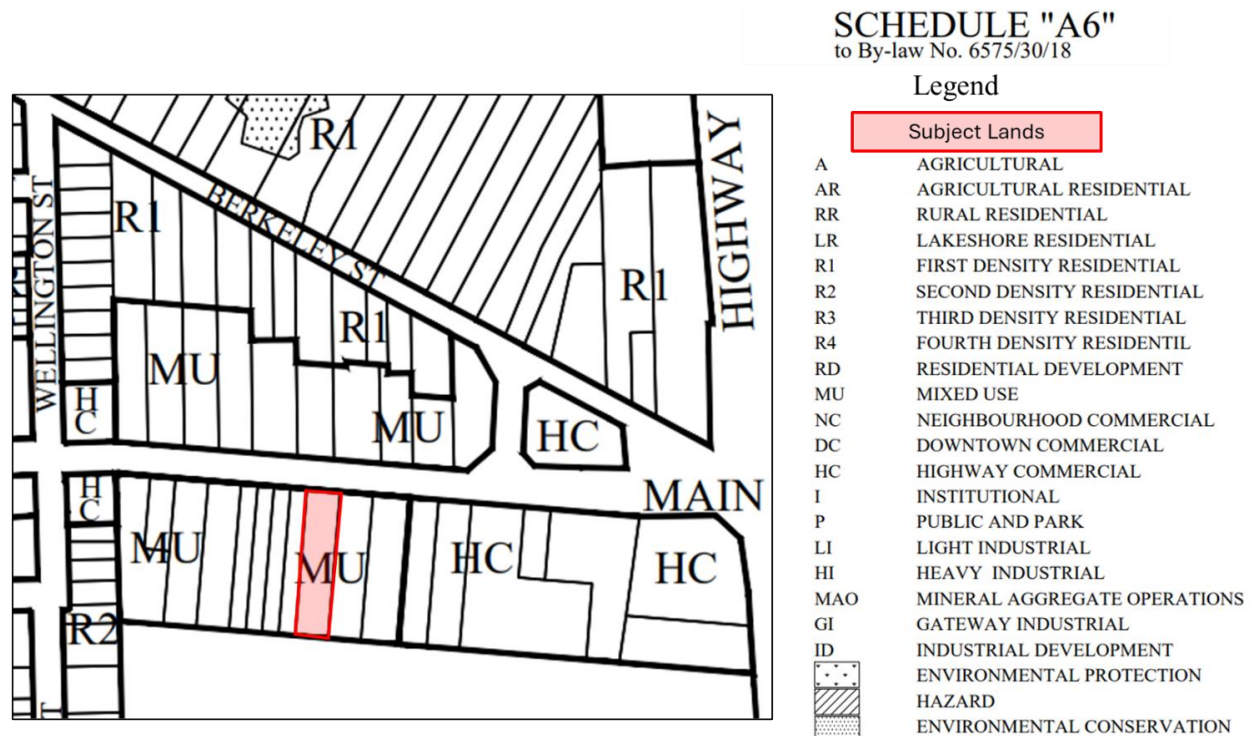


Figure 3 (above): Zoning of the subject and surrounding lands

## Environmentally Sensitive Areas

The subject lands do not contain any environmentally sensitive areas

## Public Comments

Notice was circulated on September 19, 2025, to properties within 60 metres of the subject lands, in accordance with the *Planning Act*. As of October 3, 2025, no comments from the public have been received.

## Agency Comments

Notice of the application was circulated on September 9, 2025, to internal City departments and external agencies. As of October 3, 2025, the following comments have been received.

Commenter	Comments	Planning Staff Response



<b>Drainage Superintendent</b>	No objections.	Noted
<b>Fire Department</b>	Note the address of the existing property needs to be changed to reflect the correct sequencing of the house numbers on the street	A condition of consent has been included that requires that the landowner undertake the appropriate process to readdress the retained parcel to be 161 Main Street East
<b>Engineering Technologist</b>	Development Engineering has no comments on this consent (severance) application. Please be advised that a Municipal Consent permit will be required to service the newly created lot	Noted
<b>Niagara Peninsula Conservation Authority</b>	Based on the NPCA Mapping the subject property does not contain and is not impacted by NPCA Regulated Features. Therefore, the NPCA has no objections	Noted
<b>Ministry of Transportation (MTO)</b>	<p>MTO is supportive of the Consent Application with a recommendation that Part 2 obtains an easement from Part 1 or direct access from Main Street East.</p> <p>This address is within MTO's Permit Control Area. Any changes to the site or construction of new dwellings will require MTO Residential Building &amp; Land Use Permits. Further information regarding requirements for our Building and Land Use Permit Applications, and Sign Permit Application requirements is also available from our office by contacting Matthew Prestinaci, the Corridor Management Officer for this area and he can be reached at (416)</p>	A condition of consent has been included that requires the landowner provide a new access to the existing dwelling (Parcel 2), compliant with MTO requirements either by way of easement or direct access to Main Street East

	300-6508 or by email at matthew.prestinaci@ontario.ca.	
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## **Discussion**

Consent application B09-25-PC was reviewed in consideration of the applicable policies in the Provincial Planning Statement (2024), the Niagara Official Plan (2022), the City of Port Colborne Official Plan (2013), and Zoning By-law 6575/30/18.

### **Provincial Planning Statement (PPS)**

Based on the policies and definitions in the PPS, the subject lands are within a settlement area. Section 2.3.1.1 of the PPS states that settlement areas shall be the focus of growth and development. Section 2.3.1.2 encourages land use patterns within settlement areas to be based on densities and a mix of uses which efficiently use land and resources, optimizing existing and planned infrastructure. Section 2.3.1.3 requires that planning authorities support redevelopment to help achieve complete communities.

The proposed severance is consistent with the PPS. The proposal to create a new lot within the City's urban area supports the provincial requirement to direct growth and development to settlement areas. The retained and severed lands are municipally serviced, which contributes to the efficient use of existing infrastructure.

### **Niagara Official Plan (NOP)**

The Niagara Official Plan (NOP) provides the long-term land use planning framework for development across the Niagara Region, including the City of Port Colborne. The subject lands are designated as follows in the NOP:

- Delineated Built-up Area, in accordance with Schedule B, Regional Structure;

Section 2.2 of the NOP directs growth to settlement areas and states that most development will occur in urban areas, where municipal water and wastewater systems/services exist or are planned and a range of transportation options can be provided. The urban growth management policies in NOP Policy 2.2.1 encourage land use patterns that minimize land consumption, make efficient use of existing infrastructure, and promote orderly development while protecting natural heritage features.

The proposed consent application conforms to the NOP.

### **City of Port Colborne Official Plan (OP)**

The subject lands are designated Highway Commercial in accordance with Schedule A of the OP. Section 3.8 of the OP identifies the planned function of the Highway Commercial designation as follows:

*“The predominant uses for lands designated Highway Commercial shall include, but not be limited to; hotels and motels; automobile sales and service establishments; places of amusement or recreation; restaurants with take-out and/or drive-through facilities; and accessory uses to the aforementioned uses, including a residence for a caretaker. For lands having frontage on Main Street East between the Welland Canal and Elizabeth Street, a mix of uses including both commercial and residential uses are permitted in accordance with the appropriate Policies.”*

The proposed consent application is being brought forward to facilitate redevelopment of the newly created parcel for uses consistent with the OP designation; and, meets the requirements to sever the lands set out in the OP, subject to necessary conditions which are outlined in the Recommendation section of this report.

#### City of Port Colborne Zoning By-law 6575/30/18

The subject lands are zoned Mixed Use (MU) in accordance with Zoning By-law 6575/30/18. The applicant is requesting the consent application so that the newly created lot can be developed for a residential use. A variety of residential uses are permitted in the MU Zone.

The proposed severance will leave the following dimensions:

- Parcel 1: a lot frontage of 9.349 metres and a lot area of 1,618 square metres
- Parcel 2: a lot frontage of 12 metres and a lot area of 405.99 square metres.

The retained parcel (Parcel 2) contains a single detached dwelling. Section 21.4 of the Zoning By-law identifies the provisions for detached dwellings in the MU Zone, where a minimum lot frontage of 12 metres and minimum lot area of 0.04 hectares are required. Parcel 2 meets these requirements. The severed parcel (Parcel 1) is proposed to be used for a future multi-unit residential development. The MU zone includes a range of required minimum lot frontages and lot areas, based on the type of residential use. These range from 15 metres and 0.05 hectares for a mixed use building to 18 metres and 125 square metres per unit for an apartment building. The lot frontage of 9.349 does not meet the requirements.

The applicant has submitted an application for Minor Variance, which staff are reviewing concurrently under a separate report at the October 8, 2025 Committee of Adjustment hearing. A condition of the approval of the consent application will be that required variance(s) be approved.

#### **Recommendation:**

That consent application B09-25-PC be **granted** subject to the following conditions:

1. That the applicant provides the Secretary-Treasurer with the deeds for the conveyance of the subject parcels, including a registrable legal description of the

subject parcels, and a copy of the deposited reference plan, for use in the issuance of the Certificate of Consent.

2. That the applicant signs the City of Port Colborne's standard "Memorandum of Understanding" explaining that development charges and cash-in-lieu of the dedication of land for park purposes, based on an appraisal, at the expense of the applicant, wherein the value of the land is to be determined as of the day before the issuance of a building permit, is required prior to the issuance of a building permit pursuant to Section 42 of the Planning Act. R.S.O 1990, as amended.
3. That, prior to depositing the reference plan, the following amendments are made to the satisfaction of City staff:
  - a. That the applicant shall demolish all existing structures noted to be demolished on the severance sketch to the satisfaction of the Chief Planner
  - b. That the existing dwelling (Parcel 2) currently addressed as 159 Main Street East be assigned a new address to allow the severed parcel (Parcel 1) to retain the address of 159 Main Street East. The applicant shall undertake the appropriate process to obtain this municipal readdressing
  - c. That the applicant provide a new access to the existing dwelling (Parcel 2), compliant with MTO requirements either by way of easement or direct access to Main Street East.
4. That the applicant shall obtain final approval of a Minor Variance(s) to the satisfaction of the Chief Planner.
5. That a final certification fee of \$400 per application, payable to the City of Port Colborne, is submitted to the Secretary-Treasurer.
6. That all conditions of consent be completed by October 8, 2027.

For the following reasons:

1. The application is consistent with the Provincial Planning Statement, conforms to the Niagara Official Plan and the City of Port Colborne Official Plan; and, after conditions are cleared, will comply with the provisions of Zoning By-law 6575/30/18, as amended.

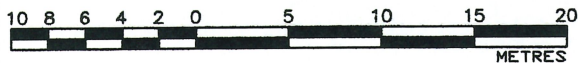
Respectfully submitted,

Kelly Martel

Planning Manager

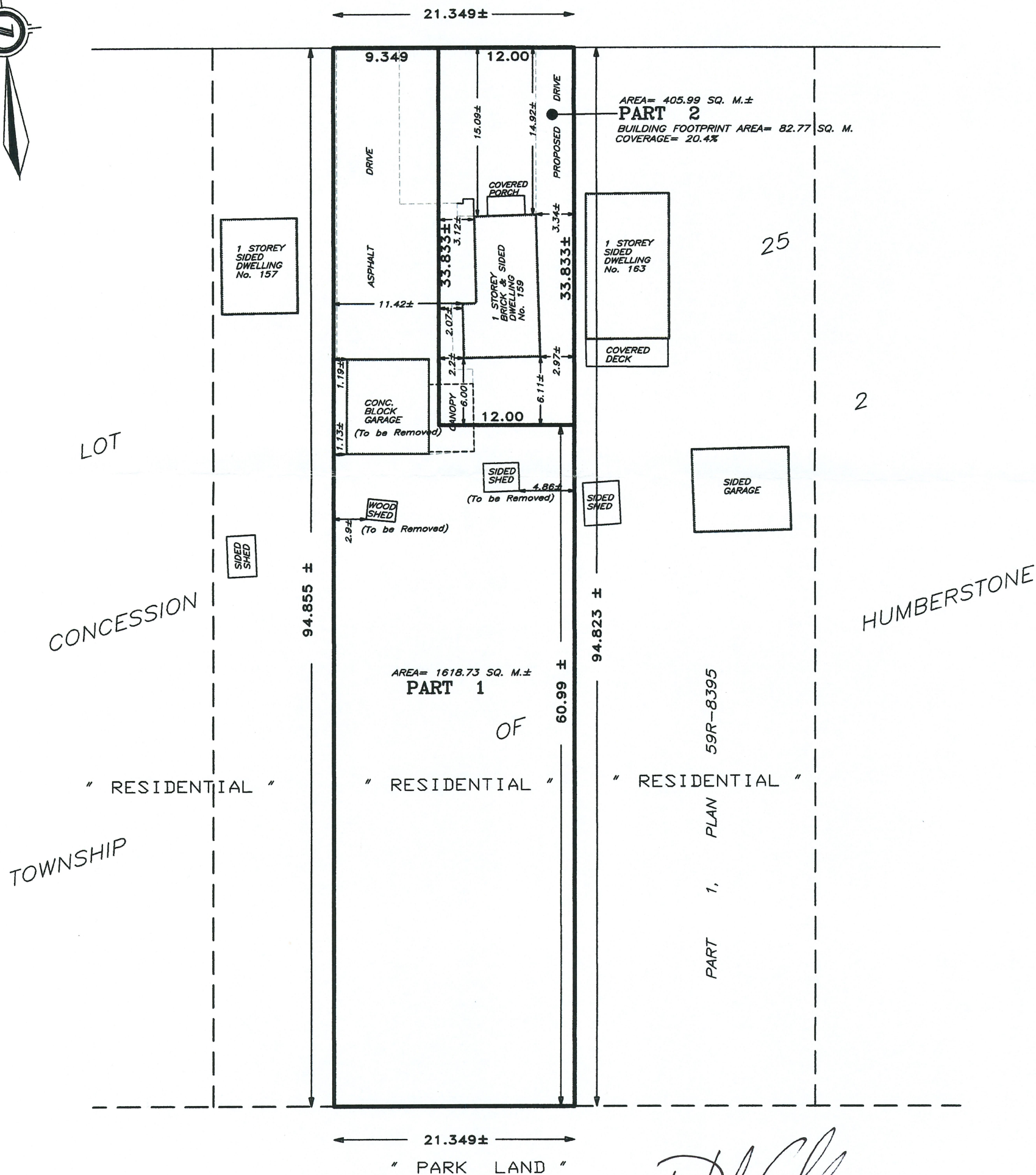
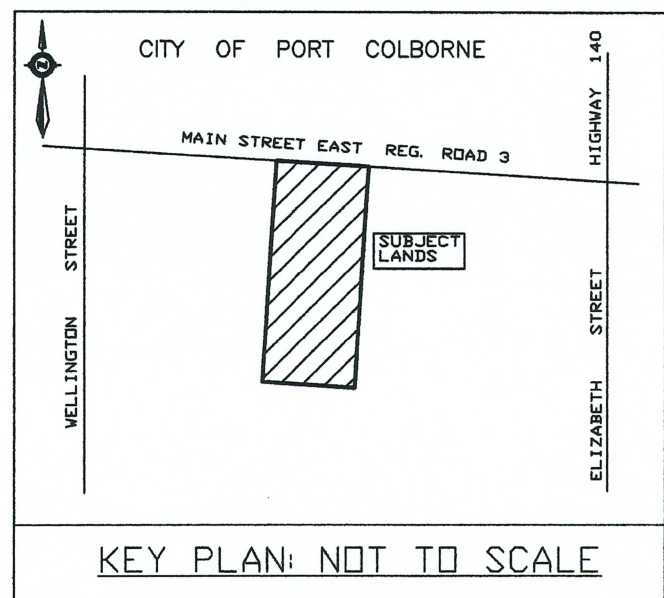
COMMITTEE OF ADJUSTMENT APPLICATION  
**PART OF LOT 25, CONCESSION 2**  
GEOGRAPHIC TOWNSHIP OF HUMBERSTONE  
IN THE  
**CITY OF PORT COLBORNE**

SCALE: 1 : 400



2022

( FORMERLY THE KING'S HIGHWAY No. 3 )  
REGIONAL ROAD No. 3  
**MAIN STREET EAST**  
( WIDTH VARIES )



*[Signature]* **MAY 10, 2022**  
PHILIP S. SUDA O.L.S. DATE

**SUDA & MALESZYK SURVEYING INC.**  
ONTARIO LAND SURVEYORS  
26 EAST MAIN STREET, SUITE 2  
WELLAND, ONTARIO L3B 3W3  
TEL: (905) 732-7651  
FILE: 22-75 JOB No: 6592

CAUTION: THIS IS NOT A PLAN OF SURVEY AND SHALL NOT  
BE USED FOR ANY OTHER PURPOSE EXCEPT AS STATED IN THE  
TITLE BLOCK  
THIS SKETCH IS NOT VALID UNLESS EMBOSSED BY A  
SURVEYOR'S SEAL.



Part 1



## PORT COLBORNE

DEVELOPMENT AND LEGISLATIVE SERVICES

## MINOR VARIANCE APPLICATION

THE CITY OF PORT COLBORNE

The Planning Act – Section 45

<b>RECEIVED</b>	
<b>AUG 19 2025</b>	
For Office Use Only	
Date Received: _____	Application Complete: <input type="checkbox"/> Yes <input type="checkbox"/> No
Date of Completion: _____	

SUBMISSION OF APPLICATION

Completed applications can be sent to:

City of Port Colborne Taya Taraba Secretary Treasurer of the Committee of Adjustment City Hall 66 Charlotte Street Port Colborne, Ontario L3K 3C8	Telephone: 1-905-835-2900 Fax: 1-905-835-2939 Email: taya.taraba@portcolborne.ca
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### 2025 APPLICATION FEES

Minor Variance	\$1,900
Minor Variance (Building without a Permit)	\$2,505
Minor Variance & Consent Combination	\$3,800

### COMPLETENESS OF APPLICATION

A complete application includes all required forms, fees, and applicable sketches, as well as any additional information that may be identified by the Secretary-Treasurer in accordance with the provisions under *the Planning Act, R.S.O. 1990, c.P. 13*, as amended.

#### To be considered complete, submitted applications must include:

- One fully completed application for minor variance or permission signed by the applicant(s) and/or authorized agent and properly witnessed by a Commissioner for the taking of affidavits.
- A letter of authorization from the property owner, if applicable.
- **Two (2) copies** of a completed preliminary drawing (see the "Drawing Requirements" section).
- Payment of the appropriate fee submitted at the time of application through cash, credit, debit, or cheque payable to the City of Port Colborne.
- Payment of the appropriate Regional Review & Approval fee(s) if required by the Region, submitted at the time of the preliminary review. Payment can be submitted to the City of Port Colborne or to the Niagara Region. If payment is submitted to the Region directly, please submit the receipt to the City of Port Colborne. Failure to pay the Region's fee may result in an incomplete application. The Region's fees are available on its website, [https://www.niagararegion.ca/business/fpr/forms\\_fees.aspx](https://www.niagararegion.ca/business/fpr/forms_fees.aspx)
- Payment of the appropriate NPCA fee, if required, submitted at the time of the preliminary review. Payment can be submitted to the City of Port Colborne or to the NPCA. If payment is submitted to the NPCA directly, please submit the receipt to the City of Port Colborne. Failure to pay the NPCA's fee may result in an incomplete application.

**\*Note:** Additional information may be required once a full review has been completed by planning staff. This may prevent deferral of your application. \*

## DRAWING REQUIREMENTS

Please submit two copies of each separate plan along with your completed application. Ensure that all the information below is included in the plan(s). Depending on the extent of the proposal, **the Planning Division may request a sketch prepared by a professional, and the Committee may require (at the discretion of the Manager of Planning Services) that the sketch be signed by an Ontario Land Surveyor.** This requirement can be clarified by the Planning Staff. The required sketch should be based on an actual survey by an Ontario Land Surveyor or drawn to a usable metric scale [e.g., 1:100, 1:300, 1:500].

To be considered **complete**, each sketch must identify:

1. The boundaries and dimensions of the land / lot.
2. The location and nature of any easement affecting the land, if applicable.
3. The location, size, height, and type of all existing and proposed buildings and structures on the land, indicating the distance of the buildings or structures from the front lot line, rear lot line and the side lot lines.
4. The parking areas, loading spaces, driveway entrance / exits.

## PROCEDURES FOR PROCESSING APPLICATIONS FOR MINOR VARIANCE OR PERMISSION

Once the Secretary-Treasurer has received an application, the application will be circulated to external agencies for up to 10 days to determine whether additional information and/or fees are required. Once comments from these agencies have been received, the Secretary-Treasurer will inform the applicant of any additional information and/or fees required by these agencies (ie. Niagara Region, Niagara Peninsula Conservation Authority). If applicable, the applicant must submit this additional information and/or pay the additional fees for their application to be deemed complete. Once the application is deemed complete, a hearing date will be confirmed in writing by the Secretary-Treasurer.

Prior to the hearing, members of the Committee may choose to conduct a site visit and/or contact the applicants. **Please note that the Committee should not be contacted by members of the public.** Any comments, questions, or concerns should be addressed through the Planning Division.

Following the hearing, the applicant/agent/solicitor will be notified of the Committee's decision in a written Notice of Decision. In addition, any other person or agency who filed a written request for the Committee's decision will be sent a copy. Any applicant objecting to the decision of the Committee, or the condition(s) imposed by the Committee may appeal the decision to the Local Planning Appeal Tribunal within 20 days after the Notice of Decision has been given. The notice of appeal, together with written reasons supporting the appeal and the fee, by certified cheque or money order payable to the Minister of Finance, must be filed with the Secretary-Treasurer, who in turn, will forward the appeal to the Local Planning Appeal Tribunal. The fee is \$300.00 for the first application to be appealed and \$25.00 for each additional related minor variance appeal.

## NIAGARA PENINSULA CONSERVATION AUTHORITY REVIEW

Fees which are payable directly to Authority vary depending on the location and on the type of application. For land: abutting or within 15 meters of a water course; on or within 30 meters of the Lake Erie shoreline; on land identified as "Hazard Land" or "Environmental Protection" by the Port Colborne Official Plan or Zoning Bylaw; or within a groundwater recharge / discharge area, aquifer, or headwater on the property or within 30 meters of the property, the Niagara Peninsula Conservation Authority will charge an additional Plan Review Fee. These fees are provided on the Niagara Peninsula Conservation Authority's website.

I acknowledge that I have read, understand, and agree to the terms outlined above.		
Name: <i>Daniel Corvelli</i>	Date: <i>Aug 19 / 2025</i>	Initials: <i>DC</i>



**PORT COLBORNE**

DEVELOPMENT AND LEGISLATIVE SERVICES

## MINOR VARIANCE APPLICATION

THE CITY OF PORT COLBORNE

The Planning Act – Section 45

## SECTION 1 : CONTACT INFORMATION

<b>1.1 Registered Owner (s):</b>	
Name: <i>Covello Developments Inc</i>	
Mailing Address: <i>701 Buffalo Road</i>	
City: <i>Fort Erie</i>	Province: <i>ONT</i>
Postal Code: <i>L2A 5G7</i>	Telephone: <i>905-341-6464</i>
Fax:	Email: <i>Covello-310@hotmail.com</i>
<b>1.2 Owner's SOLICITOR (if applicable)</b>	
Name:	
Mailing Address:	
City:	Province:
Postal Code:	Telephone:
Fax:	Email:
<b>1.3 Owner's Authorized AGENT (if applicable)</b>	
Name:	
Mailing Address:	
City:	Province:
Postal Code:	Telephone:
Fax:	Email:
<b>1.4 Owner's ONTARIO LAND SURVEYOR (if applicable)</b>	
Name: <i>Suda &amp; MALESZYK Surveying Inc</i>	
Mailing Address: <i>26 Main Street</i>	
City: <i>Welland</i>	Province: <i>ONT</i>
Postal Code: <i>L3B 3W3</i>	Telephone: <i>905-732-7651</i>
Fax:	Email: <i>psuda@bellnet.ca</i>
<b>1.5 All communications should be sent to the:</b>	
<input checked="" type="checkbox"/> Owner <input type="checkbox"/> Solicitor <input type="checkbox"/> Agent	

## SECTION 2: LOCATION OF SUBJECT LAND

Former Municipality:	
Concession No. <i>2</i>	Lot(s): <i>Part Lot 25</i>
Registered Plan No.	Lot(s):
Reference Plan No.	Part(s):
Name of Street: <i>Main Street East</i>	Street No. <i>159</i>

## SECTION 3: SUBJECT LAND DESCRIPTION

Part No. On Sketch: 1

<b>3.1 Lot Description</b>		
Frontage: <u>9.349 m</u>	Depth: <u>94.855 m</u>	Area: <u>1618.73 SQ m</u>
Existing Use: <u>Residential (Single Family)</u>		
Proposed Use: <u>Multi unit Residential (10 unit Building)</u>		
<b>3.2 What is the current designation of the land in the Official Plan and the Regional Plan?</b>		
Port Colborne Official Plan: <u>Highway Commercial</u>		
Regional Policy Plan: <u>Built-up</u>		
<b>3.3 What is the current zoning of the land (By-law 6575/30/18)?</b>		
<u>MU (mixed use)</u>		

## SECTION 4: LAND INFORMATION

<b>4.1 Date and Subject Land was acquired by the Current Owner:</b>	
<u>May 31 / 2022</u>	
<b>4.2 Are there any existing EASEMENTS OR RESTRICTIVE COVENANTS affecting the land?</b>	
<input type="checkbox"/> Yes	If "Yes" describe the easement or covenant and its effect:
<input checked="" type="checkbox"/> No	
<b>4.3 MORTGAGES, Charges &amp; Other Encumbrances:</b>	
List the name(s) and address(es) of any mortgages, charges, or other encumbrances in respect of the land.	
<b>4.4 DATE OF CONSTRUCTION of all existing buildings and structures on the land:</b>	
<b>4.5 Type of ACCESS</b>	
<input type="checkbox"/> Provincial Highway	<input type="checkbox"/> Municipal Road maintained seasonally
<input checked="" type="checkbox"/> Regional Road	<input type="checkbox"/> Right-of-Way
<input type="checkbox"/> Municipal Road maintained all year	<input type="checkbox"/> Water Access
<input type="checkbox"/> Other Public Road	<input type="checkbox"/> Private Road
<b>4.6 What type of WATER SUPPLY is proposed?</b>	
<input checked="" type="checkbox"/> Publicly owned and operated piped water supply	
<input type="checkbox"/> Lake	
<input type="checkbox"/> Well (private or communal)	
<input type="checkbox"/> Other (specify) _____	
<b>4.7 What type of SEWAGE DISPOSAL is proposed?</b>	
<input checked="" type="checkbox"/> Publicly owned and operated sanitary sewage system	
<input type="checkbox"/> Septic system (private or communal)	
<input type="checkbox"/> Other (specify) _____	
<b>4.8 What type of STORMWATER DISPOSAL is proposed?</b>	
<input checked="" type="checkbox"/> Publicly owned and operated stormwater system	
<input type="checkbox"/> Other (specify) _____	
<b>4.9 Has a Pre-Consultation application been filed for this proposal?</b>	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes, please indicate the meeting date: _____	

<b>5.1 Nature and Extent of Relief from the Zoning By-law:</b>	<p>Section 21.3 A) Requesting Frontage of 9.3m where 15m is required</p> <p>* On Part I</p>
<b>5.2 Why is it not possible to comply with the Zoning By-law?</b>	<p> </p> <p> </p> <p> </p> <p> </p> <p> </p> <p> </p> <p> </p> <p> </p>
<b>5.3 Does the structure(s) pertaining to the application for Minor Variance already exist?</b>	<p><input type="checkbox"/> Yes</p> <p><input checked="" type="checkbox"/> No</p>
<b>5.4 If the answer to 5.3 is YES, has a building permit been issued?</b>	<p><input type="checkbox"/> Yes</p> <p><input checked="" type="checkbox"/> No</p>

File Number:
Decision:


8.1 ALL EXISTING USE		
<input checked="" type="checkbox"/> Residential	<input type="checkbox"/> Institutional	<input type="checkbox"/> Vacant
<input type="checkbox"/> Industrial	<input type="checkbox"/> Agricultural	<input type="checkbox"/> Other (specify):
<input type="checkbox"/> Commercial	<input type="checkbox"/> Parkland	
8.2 What is the length of time the existing use(s) of the land have continued?		
Forever		
8.3 Are there any buildings or structures on the subject land?		
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		
If Yes, briefly describe and indicate their use.		
Garage / 2 sheds		

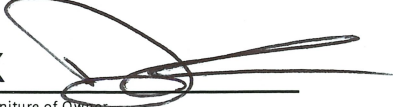


<b>8.4 Are any of these buildings designated under the Ontario Heritage Act?</b>		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
<b>8.5 Has the grading of the subject land been changed by adding earth or material? Has filling occurred on the subject land?</b>		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
<b>8.6 Has a gasoline station and/or automobile service station been located on the subject land or adjacent lands at any time?</b>		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
<b>8.7 Has there been petroleum or other fuel stored on the subject land or adjacent lands?</b>		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
<b>8.8 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?</b>		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
<b>8.9 Have the lands or adjacent lands ever been used as an agricultural operation where pesticides have been applied to the lands?</b>		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
<b>8.10 Have the lands or adjacent lands ever been used as a weapon firing range?</b>		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
<b>8.11 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the boundary line of an operational / non-operational public or private landfill or dump?</b>		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
<b>8.12 If there are existing or previously existing buildings on the subject lands, are there any building materials remaining on site which are potentially hazardous to public health (e.g., asbestos, PCB's)?</b>		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
<b>8.13 If there has been industrial or commercial uses on the property, a previous use inventory is needed. Is a previous use inventory attached?</b>		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
<b>8.14 Is there reason to believe the subject lands may have been contaminated by existing or former uses on the site or adjacent sites?*</b>		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
<p>If previous use of property is industrial or commercial or if the answer was <b>YES</b> to any of the above, please attach a previous use inventory showing all former uses of the land, or if applicable, the land(s) adjacent to the land.</p> <p>*Possible uses that can cause contamination include operation of electrical transformer stations, disposal of waste minerals, raw material storage, and residues left in containers, maintenance activities, and spills. Some commercial properties such as gasoline stations, automotive repair garages, and dry-cleaning plants have similar potential. Any industrial use can result in potential contamination. The longer a property is under industrial or similar use, the greater the potential for site contamination. Also, a series of different industrial or similar uses upon a site could potentially increase the number of chemicals which are present.</p>		

## ACKNOWLEDGMENT CLAUSE

I hereby acknowledge that it is my responsibility to ensure that I am in compliance with all applicable laws, regulations and standards pertaining to contaminated sites. I further acknowledge that the City of Port Colborne is not responsible for the identification and / or remediation of contaminated sites, and I agree, whether in (or as a result of) any action or proceeding for environmental clean-up of any damage or otherwise, I will not sue or make claim whatsoever against the City of Port Colborne, its officers, officials, employees or agents for or in respect of any loss, damage, injury or costs.

X   
Date  
Aug 18 / 2025

X   
Signature of Owner

## NIAGARA PENINSULA CONSERVATION AUTHORITY

### Pre-Screening Criteria

<b>9.1 Is there land on the property identified in the Official Plan and / or Zoning By-law as "hazard lands"?</b>		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
<b>9.2 Is there a watercourse or municipal drain on the property or within 15 metres of the property?</b>		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
<b>9.3 Is the property located on or within 30 metres of the Lake Erie shoreline?</b>		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
<b>9.4 Is there a valley slope on the property?</b>		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
<b>9.5 Is there known localized flooding or a marsh / bog area on or within 30 metres of the property?</b>		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
<b>9.6 Is the property on a Regional Road?</b>		
<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Unknown

## AUTHORIZATIONS

### SIGNATURE OF APPLICANT(S)

X Aug 19/2025  
Date

X [Signature]  
Signature of Applicant(s)

Please note: If the applicant is not the owner of the subject land or there is more than one owner, written authorization of the owner(s) is required (Complete Form 1) indicating that the applicant is authorized to make application.

I/We Daniel Cove/h  
Of the City/Town/Township of Fort Erie  
In the County/District/Regional Municipality of Niagara

solemnly declare that all the statements contained in this application are true, and I/we make this solemn declaration conscientiously believing it to be true, and knowing that it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.

DECLARED before me at the  
City of Port Colborne  
In the Region of Niagara  
This 19th day of August  
20 25.

A Commissioner, etc.

Taya Hope Taraba  
Taya Hope Taraba, a Commissioner, etc.,  
Province of Ontario, for the Corporation  
of the City of Port Colborne.  
Expires January 31, 2027.

TO BE SIGNED IN THE PRESENCE OF A  
COMMISSIONER FOR TAKING AFFIDAVITS

X

Daniel Cove/h

Personal information collected on this application will become part of a public record. Any questions regarding this collection should be directed to the City Clerk at 66 Charlotte Street, Port Colborne, Ontario L3K 3C8 (905) 835-2900 Ext. 106.

## POSTING OF PUBLIC HEARING SIGN

A public hearing sign is required to be posted by all applicants or agents on each property under application. A sign will be made available to you after review of your application, and you are required to post each sign in a prominent location on the subject property. The sign should be placed so that it is legible from the roadway.

Each sign must remain posted a minimum of 14 days prior to the hearing, until the day following the hearing. Should a sign go missing or become damaged or illegible please contact the Secretary-Treasurer as soon as possible to request a replacement sign. Failure to post the sign as required may result in deferral of your application(s).

I/We Daniel Corello am/are the owner(s) of the land subject to this application for a Minor Variance and I/We agree to post the required sign(s) a minimum of 14 days prior to the hearing and will remain posted, and replaced, if necessary, until the day following the hearing.

X

Signature of Owner/Agent

X

Date

Aug 19/2025

X

Signature of Owner/Agent

X

Date

## PERMISSION TO ENTER

I/We \_\_\_\_\_ am/are the owner(s) of the land subject to this application for a Minor Variance and I/We authorize the members of the Committee of Adjustment and the City of Port Colborne Planning Staff to enter onto the property for the purpose of evaluating the merits of the application(s).

**\*Please note that the Committee should not be contacted by members of the public.** Any comments, questions or concerns should be addressed through the Planning Division.\*

X

Signature of Owner

X

Date

Aug 19/2025

X

Signature of Owner

X

Date



## AUTHORIZATION FOR AGENT / SOLICITOR (IF APPLICABLE)

If the application is not the owner of the land that is subject to this application for a Minor Variance, the authorization set out below must be completed by the owner(s). All registered owners must complete the authorization form for it to be valid.

Please Note: If the registered owner is a corporation, in addition to the signatures of the authorized signing officers, the corporate seal must be affixed.

Where the Owner is without a spouse, common-law or legally married, the Owner is required to sign only once. Where the spouse of the Owner is not an owner, the spouse is required to sign. Spouse shall include a common-law spouse as defined within the *Family Law Reform Act*.

I/We \_\_\_\_\_ am/are the owner(s) of the land that is subject to this application for a Minor Variance and I/We hereby authorize as my/our agent for the purposes of submitting an application(s) to the Committee of Adjustment for a Minor Variance.

X

Signature of Owner

X

Date

X

Signature of Owner

X

Date

X

Signature of Agent

X

Date

## SUGGESTION TO THE APPLICANT

Notice of your application is required for several agencies. All written responses will be considered before reaching a decision on your application.

Although you are under no obligation to do so, we suggest that you discuss your intentions with the appropriate agencies from the list below, before submitting an application. This pre-consultation could provide you with information about the City of Port Colborne Official Plan, the minimum requirements and permitted uses of Zoning By-law 6575/30/18, the Regional Policy Plan, the concerns of various Provincial Ministries, and other relevant information which may have a direct effect upon the final decision on your application.

1. Port Colborne Planning and Development Department  
66 Charlotte Street, Port Colborne, Ontario L3K 3C8  
General Planning Department  
(905) 835-2900, Ext. 286  
Information on the Port Colborne Official Plan and Zoning Bylaw
2. Port Colborne Planning and Development Department  
66 Charlotte Street, Port Colborne, Ontario L3K 3C8  
Engineering Technologist  
(905) 835-2900, Ext. 226  
Information on Servicing, Lot Grading and Drainage
3. Port Colborne Building Division  
66 Charlotte Street, Port Colborne, Ontario L3K 3C8  
Building Clerk  
(905) 835-2900, Ext 229  
Information about the Building Code
4. Region of Niagara Public Works Department  
Planning and Development Department  
1815 Sir Isaac Brock Way, Thorold, Ontario L2V 4T7  
(905) 980-6000, Ext. 3727  
Information about the Regional Policy Plan, Agriculture, Public Works & Regional Health, and for concerns regarding Provincial Policy and Ministry responsibilities
5. The Niagara Peninsula Conservation Authority  
250 Thorold Road West, Welland, Ontario L3C 3W2  
Watershed Planner  
(905) 788-3135, Ext 272  
For information about lands which may be zoned as "Hazard" in the local zoning by law, lands adjacent to watercourses, Lake Erie or flood plains
6. Ministry of Transportation of Ontario  
Corridor Management Section  
159 Sir William Hearst Ave, 7<sup>th</sup> Floor, Toronto, Ontario M3M 1J8  
For information about sight plan applications for lands fronting onto provincial highways
7. Ministry of Transportation of Ontario  
Corridor Management Section  
1201 Wilson Avenue, Bldg D, 7<sup>th</sup> Floor, Downsview, ON, M3M 1J8  
1-866-636-0663  
For information about official plan amendments, consents, re-zonings, and other inquiries for lands fronting onto provincial highways
8. Ministry of Municipal Affairs and Housing. *Provincial Policy Statement* (PPS) available for download (On-line) at: <http://www.mah.gov.on.ca>  
Under "Your Ministry" – Land Use Planning – Provincial Policy Statement

Part 2



# PORT COLBORNE

DEVELOPMENT AND LEGISLATIVE SERVICES

## MINOR VARIANCE APPLICATION

THE CITY OF PORT COLBORNE

The Planning Act – Section 45

<b>RECEIVED</b>	
For Office Use Only	
Date Received: <b>AUG 19 2025</b>	Application Complete: <input type="checkbox"/> Yes <input type="checkbox"/> No
Date of Completion:	

### SUBMISSION OF APPLICATION

Completed applications can be sent to:

City of Port Colborne Taya Taraba Secretary Treasurer of the Committee of Adjustment City Hall 66 Charlotte Street Port Colborne, Ontario L3K 3C8	Telephone: 1-905-835-2900 Fax: 1-905-835-2939 Email: taya.taraba@portcolborne.ca
--	--

### 2025 APPLICATION FEES

Minor Variance	<b>\$1,900</b>
Minor Variance (Building without a Permit)	<b>\$2,505</b>
Minor Variance & Consent Combination	<b>\$3,800</b>

### COMPLETENESS OF APPLICATION

A complete application includes all required forms, fees, and applicable sketches, as well as any additional information that may be identified by the Secretary-Treasurer in accordance with the provisions under *the Planning Act, R.S.O. 1990, c.P. 13*, as amended.

#### To be considered complete, submitted applications must include:

- One fully completed application for minor variance or permission signed by the applicant(s) and/or authorized agent and properly witnessed by a Commissioner for the taking of affidavits.
- A letter of authorization from the property owner, if applicable.
- **Two (2) copies** of a completed preliminary drawing (see the "Drawing Requirements" section).
- Payment of the appropriate fee submitted at the time of application through cash, credit, debit, or cheque payable to the City of Port Colborne.
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Please submit two copies of each separate plan along with your completed application. Ensure that all the information below is included in the plan(s). Depending on the extent of the proposal, **the Planning Division may request a sketch prepared by a professional, and the Committee may require (at the discretion of the Manager of Planning Services) that the sketch be signed by an Ontario Land Surveyor.** This requirement can be clarified by the Planning Staff. The required sketch should be based on an actual survey by an Ontario Land Surveyor or drawn to a usable metric scale [e.g., 1:100, 1:300, 1:500].

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I acknowledge that I have read, understand, and agree to the terms outlined above.		
Name: <i>David Gock</i>	Date: <i>Aug 19/2025</i>	Initials: <i>DG</i>

**PORT COLBORNE**

DEVELOPMENT AND LEGISLATIVE SERVICES

## MINOR VARIANCE APPLICATION

THE CITY OF PORT COLBORNE

The Planning Act – Section 45

## SECTION 1 : CONTACT INFORMATION

<b>1.1 Registered Owner (s):</b>	
Name: <i>Covello Development Inc</i>	
Mailing Address: <i>701 Buffalo Road</i>	
City: <i>Fort Erie</i>	Province: <i>ONT</i>
Postal Code: <i>L2A 5G7</i>	Telephone: <i>905-341-6464</i>
Fax:	Email: <i>Covello-31@hotmail.com</i>
<b>1.2 Owner's SOLICITOR (if applicable)</b>	
Name:	
Mailing Address:	
City:	Province:
Postal Code:	Telephone:
Fax:	Email:
<b>1.3 Owner's Authorized AGENT (if applicable)</b>	
Name:	
Mailing Address:	
City:	Province:
Postal Code:	Telephone:
Fax:	Email:
<b>1.4 Owner's ONTARIO LAND SURVEYOR (if applicable)</b>	
Name: <i>Suda : Maloszyk Surveying Inc</i>	
Mailing Address: <i>26 Main St</i>	
City: <i>Welland</i>	Province: <i>ONT</i>
Postal Code: <i>L3B 3W3</i>	Telephone: <i>905-732-7651</i>
Fax:	Email: <i>Psuda@bellnet.ca</i>
<b>1.5 All communications should be sent to the:</b>	
<input type="checkbox"/> Owner <input type="checkbox"/> Solicitor <input type="checkbox"/> Agent	

## SECTION 2: LOCATION OF SUBJECT LAND

Former Municipality:	
Concession No. <i>2</i>	Lot(s): <i>Part Lot 25</i>
Registered Plan No.	Lot(s):
Reference Plan No.	Part(s):
Name of Street: <i>Main St</i>	Street No. <i>159</i>

*EAST*



## SECTION 3: SUBJECT LAND DESCRIPTION

Part No. On Sketch: 2

<b>3.1 Lot Description</b>		
Frontage: <u>12.0 m</u>	Depth: <u>33.89 m</u>	Area: <u>405.99 SQ m</u>
Existing Use: <u>Residential (Single Family)</u>		
Proposed Use: <u><del>Residential</del> Residential use</u>		
<b>3.2 What is the current designation of the land in the Official Plan and the Regional Plan?</b>		
Port Colborne Official Plan: <u>highway commercial</u>		
Regional Policy Plan: <u>Built-up</u>		
<b>3.3 What is the current zoning of the land (By-law 6575/30/18)?</b>		
<u>MU - mixed use</u>		

## SECTION 4: LAND INFORMATION

<b>4.1 Date and Subject Land was acquired by the Current Owner:</b>	
<u>May 31 / 2022</u>	
<b>4.2 Are there any existing EASEMENTS OR RESTRICTIVE COVENANTS affecting the land?</b>	
<input type="checkbox"/> Yes	If "Yes" describe the easement or covenant and its effect:
<input checked="" type="checkbox"/> No	
<b>4.3 MORTGAGES, Charges &amp; Other Encumbrances:</b>	
List the name(s) and address(es) of any mortgages, charges, or other encumbrances in respect of the land.	
<b>4.4 DATE OF CONSTRUCTION of all existing buildings and structures on the land:</b>	
<b>4.5 Type of ACCESS</b>	
<input type="checkbox"/> Provincial Highway	<input type="checkbox"/> Municipal Road maintained seasonally
<input checked="" type="checkbox"/> Regional Road	<input type="checkbox"/> Right-of-Way
<input type="checkbox"/> Municipal Road maintained all year	<input type="checkbox"/> Water Access
<input type="checkbox"/> Other Public Road	<input type="checkbox"/> Private Road
<b>4.6 What type of WATER SUPPLY is proposed?</b>	
<input checked="" type="checkbox"/> Publicly owned and operated piped water supply	
<input type="checkbox"/> Lake	
<input type="checkbox"/> Well (private or communal)	
<input type="checkbox"/> Other (specify)	
<b>4.7 What type of SEWAGE DISPOSAL is proposed?</b>	
<input checked="" type="checkbox"/> Publicly owned and operated sanitary sewage system	
<input type="checkbox"/> Septic system (private or communal)	
<input type="checkbox"/> Other (specify)	
<b>4.8 What type of STORMWATER DISPOSAL is proposed?</b>	
<input checked="" type="checkbox"/> Publicly owned and operated stormwater system	
<input type="checkbox"/> Other (specify)	
<b>4.9 Has a Pre-Consultation application been filed for this proposal?</b>	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes, please indicate the meeting date: _____	



## SECTION 5: NATURE & EXTENT OF RELIEF FROM THE ZONING BY-LAW

<b>5.1 Nature and Extent of Relief from the Zoning By-law:</b>	
Section 21.3  On Part 2	A) Requesting 12m of frontage where 15m is Required.  B) <del>Requesting</del> Requesting Area of 405sqm where 500 sqm is required.
<b>5.2 Why is it not possible to comply with the Zoning By-law?</b>	
<b>5.3 Does the structure(s) pertaining to the application for Minor Variance already exist?</b>	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
<b>5.4 If the answer to 5.3 is YES, has a building permit been issued?</b>	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	

If the answer is "Yes," please provide the following information:

File Number:
Decision:

## SECTION 6: ALL EXISTING, PREVIOUS AND ADJACENT USE OF THE LAND

<b>8.1 ALL EXISTING USE</b>		
<input checked="" type="checkbox"/> Residential <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial	<input type="checkbox"/> Institutional <input type="checkbox"/> Agricultural <input type="checkbox"/> Parkland	<input type="checkbox"/> Vacant <input type="checkbox"/> Other (specify): _____
<b>8.2 What is the length of time the existing use(s) of the land have continued?</b>		
Forever		
<b>8.3 Are there any buildings or structures on the subject land?</b>		
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		
If Yes, briefly describe and indicate their use.		
Single Family home		

<b>8.4 Are any of these buildings designated under the Ontario Heritage Act?</b>		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
<b>8.5 Has the grading of the subject land been changed by adding earth or material? Has filling occurred on the subject land?</b>		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
<b>8.6 Has a gasoline station and/or automobile service station been located on the subject land or adjacent lands at any time?</b>		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
<b>8.7 Has there been petroleum or other fuel stored on the subject land or adjacent lands?</b>		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
<b>8.8 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?</b>		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
<b>8.9 Have the lands or adjacent lands ever been used as an agricultural operation where pesticides have been applied to the lands?</b>		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
<b>8.10 Have the lands or adjacent lands ever been used as a weapon firing range?</b>		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
<b>8.11 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the boundary line of an operational / non-operational public or private landfill or dump?</b>		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
<b>8.12 If there are existing or previously existing buildings on the subject lands, are there any building materials remaining on site which are potentially hazardous to public health (e.g., asbestos, PCB's)?</b>		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
<b>8.13 If there has been industrial or commercial uses on the property, a previous use inventory is needed. Is a previous use inventory attached?</b>		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
<b>8.14 Is there reason to believe the subject lands may have been contaminated by existing or former uses on the site or adjacent sites?*</b>		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
<p>If previous use of property is industrial or commercial or if the answer was <b>YES</b> to any of the above, please attach a previous use inventory showing all former uses of the land, or if applicable, the land(s) adjacent to the land.</p> <p>*Possible uses that can cause contamination include operation of electrical transformer stations, disposal of waste minerals, raw material storage, and residues left in containers, maintenance activities, and spills. Some commercial properties such as gasoline stations, automotive repair garages, and dry-cleaning plants have similar potential. Any industrial use can result in potential contamination. The longer a property is under industrial or similar use, the greater the potential for site contamination. Also, a series of different industrial or similar uses upon a site could potentially increase the number of chemicals which are present.</p>		

## ACKNOWLEDGMENT CLAUSE

I hereby acknowledge that it is my responsibility to ensure that I am in compliance with all applicable laws, regulations and standards pertaining to contaminated sites. I further acknowledge that the City of Port Colborne is not responsible for the identification and / or remediation of contaminated sites, and I agree, whether in (or as a result of) any action or proceeding for environmental clean-up of any damage or otherwise, I will not sue or make claim whatsoever against the City of Port Colborne, its officers, officials, employees or agents for or in respect of any loss, damage, injury or costs.

X Aug 19/2025  
Date

X   
Signature of Owner

# NIAGARA PENINSULA CONSERVATION AUTHORITY

## Pre-Screening Criteria

<b>9.1 Is there land on the property identified in the Official Plan and / or Zoning By-law as "hazard lands"?</b>		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
<b>9.2 Is there a watercourse or municipal drain on the property or within 15 metres of the property?</b>		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
<b>9.3 Is the property located on or within 30 metres of the Lake Erie shoreline?</b>		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
<b>9.4 Is there a valley slope on the property?</b>		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
<b>9.5 Is there known localized flooding or a marsh / bog area on or within 30 metres of the property?</b>		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
<b>9.6 Is the property on a Regional Road?</b>		
<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Unknown



## AUTHORIZATIONS

### SIGNATURE OF APPLICANT(S)

X

Date

Aug 19/2025

X

Signature of Applicant(s)

[Signature]

Please note:

If the applicant is not the owner of the subject land or there is more than one owner, written authorization of the owner(s) is required (Complete Form 1) indicating that the applicant is authorized to make application.

I/We Daniel Covello

Of the City/Town/Township of Port Erie

In the County/District/Regional Municipality of Niagara

solemnly declare that all the statements contained in this application are true, and I/we make this solemn declaration conscientiously believing it to be true, and knowing that it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.

DECLARED before me at the

City of Port Colborne

In the Region of Niagara

This 19th day of August

2025.

TO BE SIGNED IN THE PRESENCE OF A  
COMMISSIONER FOR TAKING AFFIDAVITS

X

Daniel Covello

Signature of applicant(s), solicitor, or authorized

A Commissioner, etc. Tanya Hope Taraba, a Commissioner, etc.,  
Province of Ontario, for the Corporation  
of the City of Port Colborne.

Personal information collected on this application will become part of a public record. Any questions regarding this collection should be directed to the City Clerk at 66 Charlotte Street, Port Colborne, Ontario L3K 3C8 (905) 835-2900 Ext. 106.



## POSTING OF PUBLIC HEARING SIGN

A public hearing sign is required to be posted by all applicants or agents on each property under application. A sign will be made available to you after review of your application, and you are required to post each sign in a prominent location on the subject property. The sign should be placed so that it is legible from the roadway.

Each sign must remain posted a minimum of 14 days prior to the hearing, until the day following the hearing. Should a sign go missing or become damaged or illegible please contact the Secretary-Treasurer as soon as possible to request a replacement sign. Failure to post the sign as required may result in deferral of you application(s).

I/We Daniel Corello am/are the owner(s) of the land subject to this application for a Minor Variance and I/We agree to post the required sign(s) a minimum of 14 days prior to the hearing and will remain posted, and replaced, if necessary, until the day following the hearing.

X

Signature of Owner/Agent

X

Date

Aug 19/2025

X

Signature of Owner/Agent

X

Date

## PERMISSION TO ENTER

I/We \_\_\_\_\_ am/are the owner(s) of the land subject to this application for a Minor Variance and I/We authorize the members of the Committee of Adjustment and the City of Port Colborne Planning Staff to enter onto the property for the purpose of evaluating the merits of the application(s).

**\*Please note that the Committee should not be contacted by members of the public. Any comments, questions or concerns should be addressed through the Planning Division.\***

X

Signature of Owner

X

Date

Aug 19/2025

X

Signature of Owner

X

Date

## AUTHORIZATION FOR AGENT / SOLICITOR (IF APPLICABLE)

If the application is not the owner of the land that is subject to this application for a Minor Variance, the authorization set out below must be completed by the owner(s). All registered owners must complete the authorization form for it to be valid.

Please Note: If the registered owner is a corporation, in addition to the signatures of the authorized signing officers, the corporate seal must be affixed.

Where the Owner is without a spouse, common-law or legally married, the Owner is required to sign only once. Where the spouse of the Owner is not an owner, the spouse is required to sign. Spouse shall include a common-law spouse as defined within the *Family Law Reform Act*.

I/We \_\_\_\_\_ am/are the owner(s) of the land that is subject to this application for a Minor Variance and I/We hereby authorize as my/our agent for the purposes of submitting an application(s) to the Committee of Adjustment for a Minor Variance.

X

\_\_\_\_\_  
Signature of Owner

X

\_\_\_\_\_  
Date

X

\_\_\_\_\_  
Signature of Owner

X

\_\_\_\_\_  
Date

X

\_\_\_\_\_  
Signature of Agent

X

\_\_\_\_\_  
Date

## SUGGESTION TO THE APPLICANT

Notice of your application is required for several agencies. All written responses will be considered before reaching a decision on your application.

Although you are under no obligation to do so, we suggest that you discuss your intentions with the appropriate agencies from the list below, before submitting an application. This pre-consultation could provide you with information about the City of Port Colborne Official Plan, the minimum requirements and permitted uses of Zoning By-law 6575/30/18, the Regional Policy Plan, the concerns of various Provincial Ministries, and other relevant information which may have a direct effect upon the final decision on your application.

1. Port Colborne Planning and Development Department  
66 Charlotte Street, Port Colborne, Ontario L3K 3C8  
General Planning Department  
(905) 835-2900, Ext. 286  
Information on the Port Colborne Official Plan and Zoning Bylaw
2. Port Colborne Planning and Development Department  
66 Charlotte Street, Port Colborne, Ontario L3K 3C8  
Engineering Technologist  
(905) 835-2900, Ext. 226  
Information on Servicing, Lot Grading and Drainage
3. Port Colborne Building Division  
66 Charlotte Street, Port Colborne, Ontario L3K 3C8  
Building Clerk  
(905) 835-2900, Ext 229  
Information about the Building Code
4. Region of Niagara Public Works Department  
Planning and Development Department  
1815 Sir Isaac Brock Way, Thorold, Ontario L2V 4T7  
(905) 980-6000, Ext. 3727  
Information about the Regional Policy Plan, Agriculture, Public Works & Regional Health, and for concerns regarding Provincial Policy and Ministry responsibilities
5. The Niagara Peninsula Conservation Authority  
250 Thorold Road West, Welland, Ontario L3C 3W2  
Watershed Planner  
(905) 788-3135, Ext 272  
For information about lands which may be zoned as "Hazard" in the local zoning by law, lands adjacent to watercourses, Lake Erie or flood plains
6. Ministry of Transportation of Ontario  
Corridor Management Section  
159 Sir William Hearst Ave, 7<sup>th</sup> Floor, Toronto, Ontario M3M 1J8  
For information about sight plan applications for lands fronting onto provincial highways
7. Ministry of Transportation of Ontario  
Corridor Management Section  
1201 Wilson Avenue, Bldg D, 7<sup>th</sup> Floor, Downsview, ON, M3M 1J8  
1-866-636-0663  
For information about official plan amendments, consents, re-zonings, and other inquiries for lands fronting onto provincial highways
8. Ministry of Municipal Affairs and Housing. *Provincial Policy Statement* (PPS) available for download (On-line) at: <http://www.mah.gov.on.ca>  
Under "Your Ministry" – Land Use Planning – Provincial Policy Statement





**PORT COLBORNE**  
DEVELOPMENT AND LEGISLATIVE SERVICES

CONSENT APPLICATION  
THE CITY OF PORT COLBORNE

The Planning Act – Section 53

<b>RECEIVED</b>	
<b>AUG 19 2025</b>	
For Office Use Only	
Date Received: _____	Application Complete: <input type="checkbox"/> Yes <input type="checkbox"/> No
Date of Completion: _____	

SUBMISSION OF APPLICATION

Completed applications can be sent to:

City of Port Colborne Taya Taraba Secretary Treasurer of the Committee of Adjustment City Hall 66 Charlotte Street Port Colborne, Ontario L3K 3C8	Telephone: 1-905-835-2900 ext. 204 Fax: 1-905-835-2939 Email: taya.taraba@portcolborne.ca
--	---

2025 APPLICATION FEES

Consent (New Lot)	<b>\$2,900</b>	Changes to Consent Conditions	<b>\$750</b>
Easement	<b>\$1,850</b>	Final Certification Fee	<b>\$400</b>
Lot Addition / Boundary Adjustment	<b>\$1,850</b>	Validation of Title	<b>\$1,500</b>

COMPLETENESS OF APPLICATION

A complete application includes all required forms, fees, and applicable sketches, as well as any additional information that may be identified by the Secretary-Treasurer in accordance with the provisions under *the Planning Act, R.S.O. 1990, c.P. 13*, as amended.

**To be considered complete, submitted applications must include:**

- One fully completed application for consent signed by the applicant(s) and/or authorized agent and properly witnessed by a Commissioner for the taking of affidavits.
- A letter of authorization from the property owner, if applicable.
- **Two (2) copies** of a sketch prepared by a licensed Land Surveyor, reduced to legal size.
- Payment of the appropriate fee submitted at the time of application through cash, credit, debit, or cheque payable to the City of Port Colborne.
- Payment of the appropriate Regional Review & Approval fee(s) if required by the Region, submitted at the time of the preliminary review. Payment can be submitted to the City of Port Colborne or to the Niagara Region. If payment is submitted to the Region directly, please submit the receipt to the City of Port Colborne. Failure to pay the Region's fee may result in an incomplete application. The Region's fees are available on its website, [https://www.niagararegion.ca/business/fpr/forms\\_fees.aspx](https://www.niagararegion.ca/business/fpr/forms_fees.aspx)
- Payment of the appropriate NPCA fee, if required, submitted at the time of the preliminary review. Payment can be submitted to the City of Port Colborne or to the NPCA. If payment is submitted to the NPCA directly, please submit the receipt to the City of Port Colborne. Failure to pay the NPCA's fee may result in an incomplete application.

**\*Note:** Additional information may be required once a full review has been completed by planning staff. This may prevent deferral of your application. \*



## DRAWING REQUIREMENTS

Please submit two copies of each separate plan, reduced to legal size, along with your completed application. Ensure that all the information below is included in the plan(s). The sketch must be prepared, signed, and dated by a licensed Ontario Land Surveyor.

1. As provided for in Section 14 of Ontario Regulation 197/96, as amended, and as required by this Committee of Adjustment, an application must be accompanied by **two (2)** copies of a preliminary drawing prepared, signed and dated by an Ontario Land Surveyor.
2. One (1) copy of each separate type of plan reduced to legal size.
3. One (1) copy of an Ontario Land Surveyor's Plan or Reference Plan to describe the subject lands.
4. One (1) copy of a Registered Deed including full legal description of the subject lands.

## PROCEDURE FOR PROCESSING CONSENT APPLICATIONS

Once the Secretary-Treasurer has received an application, the application will be circulated to external agencies for up to 10 days to determine whether additional information and/or fees are required. Once comments from these agencies have been received, the Secretary-Treasurer will inform the applicant of any additional information and/or fees required by these agencies (ie. Niagara Region, Niagara Peninsula Conservation Authority). If applicable, the applicant must submit this additional information and/or pay the additional fees for their application to be deemed complete. Once the application is deemed complete, a hearing date will be confirmed in writing by the Secretary-Treasurer.

Prior to the hearing, members of the Committee may choose to conduct a site visit and/or contact the applicants. **Please note that the Committee should not be contacted by members of the public.** Any comments, questions, or concerns should be addressed through the Planning Division.

Following the hearing, the applicant/agent/solicitor will be notified of the Committee's decision through a written Notice of Decision. In addition, any other person or agency who filed a written request for the Committee's decision will be sent a copy.

Any applicant objecting to the decision of the Committee, or the condition(s) imposed by the Committee may appeal either the decision and/or the conditions of consent to the Local Planning Appeal Tribunal within 20 days after the notice of decision has been given. The notice of appeal, together with written reasons supporting the appeal and the fee, by certified cheque or money order payable to the Minister of Finance, must be filed with the Secretary-Treasurer, who in turn, will forward the appeal to the Local Planning Appeal Tribunal. The fee is \$300.00 for the first application to be appealed and \$25.00 for each additional related consent appeal.

Prior to final consent being issued, written proof must be submitted to the Secretary-Treasurer to the effect that any conditions imposed by the Committee in granting consent have been fulfilled. According to the *Planning Act*, if the consent granted by the Committee is conditional, the conditions must be fulfilled within two years of the giving of the notice of decision. Failure to do so will cause the consent to lapse.

## NIAGARA PENINSULA CONSERVATION AUTHORITY REVIEW

Fees which are payable directly to Authority vary depending on the location and on the type of application. For land: abutting or within 15 meters of a water course; on or within 30 meters of the Lake Erie shoreline; on land identified as "Hazard Land" or "Environmental Protection" by the Port Colborne Official Plan or Zoning Bylaw; or within a groundwater recharge / discharge area, aquifer or headwater on the property or within 30 meters of the property, the Niagara Peninsula Conservation Authority will charge an additional Plan Review Fee. These fees are provided on the Niagara Peninsula Conservation Authority's website.

I acknowledge that I have read, understand, and agree to the terms outlined above.		
Name: <u>Daniel Covello</u>	Date: <u>Aug 18/2025</u>	Initials: <u>DC</u>



## SECTION 1 : CONTACT INFORMATION

<b>1.1 Registered Owner (s):</b>	
Name: <u>Covello Developments Inc</u>	
Mailing Address: <u>701 Buffalo Road</u>	
City: <u>Fort Erie</u>	Province: <u>ONT</u>
Postal Code: <u>L2A 5G7</u>	Telephone: <u>905-341-6464</u>
Fax:	Email: <u>Covello_31@hotmail.com</u>
<b>1.2 Owner's SOLICITOR (if applicable)</b>	
Name:	
Mailing Address:	
City:	Province:
Postal Code:	Telephone:
Fax:	Email:
<b>1.3 Owner's Authorized AGENT (if applicable)</b>	
Name:	
Mailing Address:	
City:	Province:
Postal Code:	Telephone:
Fax:	Email:
<b>1.4 Owner's ONTARIO LAND SURVEYOR (if applicable)</b>	
Name: <u>Suda : MALESZYK Surveying Inc</u>	
Mailing Address: <u>26 East main street</u>	
City: <u>Welland</u>	Province: <u>ONT</u>
Postal Code: <u>L3B 3W3</u>	Telephone: <u>905-732-7651</u>
Fax:	Email: <u>PSUDA@bellnet.ca</u>
<b>1.5 All communications should be sent to the:</b>	
<input checked="" type="checkbox"/> Owner <input type="checkbox"/> Solicitor <input type="checkbox"/> Agent	

## SECTION 2: LOCATION OF SUBJECT LAND

Former Municipality:	
Concession No. <u>2</u>	Lot(s): <u>Part lot 25</u>
Registered Plan No.	Lot(s):
Reference Plan No.	Part(s):
Name of Street: <u>Main Street East</u>	Street No. <u>159</u>



### SECTION 3: PROPOSAL DESCRIPTION

<b>3.1 Type of proposed transaction: (Check appropriate space(s))</b>		
<input checked="" type="checkbox"/> Creation of New Lot	<input type="checkbox"/> Lease	<input type="checkbox"/> Partial Discharge or Mortgage
<input type="checkbox"/> Addition to lot	<input type="checkbox"/> Disposal of Surplus Farm Dwelling	<input type="checkbox"/> Right-of-Way
<input type="checkbox"/> Mortgage or Charge	<input type="checkbox"/> Farm Retirement Lot	<input type="checkbox"/> Easement
Reason for proposed transaction: <u>Development / Intensification</u> <u>Creation of NEW Residential Lot (Multi Family)</u>		
<b>3.2 If a lot addition, identify the lands to which the parcel will be added:</b>		
<hr/> <hr/> <hr/>		
<b>3.3 Name of person(s), if known, to whom land or interest in land is intended to be conveyed, leased, or mortgaged:</b>		
<hr/> <hr/>		

### SECTION 4: SUBJECT PARCEL INFORMATION

Part No. On Sketch: 1

<b>DESCRIPTION OF SUBJECT PARCEL (in metric units)</b>		
Frontage: <u>9.349 m</u>	Depth: <u>94.855 m</u>	Area: <u>1618.73 SQ.M</u>
Existing Use: <u>Residential (Single Family)</u>		
Proposed Use: <u>Multi unit Residential (10 unit Building)</u>		

### SECTION 5: RETAINED PARCEL INFORMATION

Part No. On Sketch: 2

<b>DESCRIPTION OF PARCEL TO BE RETAINED (in metric units)</b>		
Frontage: <u>12.00 m</u>	Depth: <u>33.833 m</u>	Area: <u>405.99 SQ.M</u>
Existing Use: <u>Residential (Single Family)</u>		
Proposed Use: <u>Residential (Single Family)</u>		

### SECTION 6: SUBJECT LAND INFORMATION

<b>6.1 What is the current designation of the land in the Official Plan and the Regional Plan?</b>	
Port Colborne Official Plan:	<u>Highway Commercial</u>
Regional Policy Plan:	<u>Built-up</u>
<b>6.2 What is the Zoning of the land (By-law 6575/30/18)?</b>	
<u>Mu (mixed use)</u>	
<b>6.3 Date and Subject Land was acquired by the Current Owner:</b>	
<u>May 31 / 2022</u>	
<b>6.4 Are there any existing EASMENTS OR RESTRICTIVE COVENANTS affecting the land?</b>	
<input type="checkbox"/> Yes	If "Yes" describe the easement or covenant and its effect:
<input checked="" type="checkbox"/> No	

<b>6.5 MORTGAGES, Charges &amp; Other Encumbrances:</b>		
List the name(s) and address(es) of any mortgages, charges, or other encumbrances in respect of the land.		
<div style="font-family: cursive; font-size: 1.2em; margin-left: 100px;">Meridian Credit Union</div>		
<b>6.6 Type of ACCESS</b>		
<input type="checkbox"/> Provincial Highway <input checked="" type="checkbox"/> Regional Road <input type="checkbox"/> Right-of-Way	<input type="checkbox"/> Water Access <input type="checkbox"/> Municipal Road maintained <b>all year</b> <input type="checkbox"/> Municipal Road maintained <b>seasonally</b>	<input type="checkbox"/> Private Road <input type="checkbox"/> Other Public Road
<b>6.7 What type of WATER SUPPLY is proposed?</b>		
<input checked="" type="checkbox"/> Publicly owned and operated piped water supply <input type="checkbox"/> Lake <input type="checkbox"/> Well (private or communal) <input type="checkbox"/> Other (specify): _____		
<b>6.8 What type of SEWAGE DISPOSAL is proposed?</b>		
<input checked="" type="checkbox"/> Publicly owned and operated sanitary sewage system <input type="checkbox"/> Septic system (private or communal) <input type="checkbox"/> Other (specify): _____		
<b>6.9 What type of STORMWATER DISPOSAL is proposed?</b>		
<input checked="" type="checkbox"/> Publicly owned and operated stormwater system <input type="checkbox"/> Other (specify): _____		

## SECTION 7

<b>7.1 Has the land ever been the subject of an application for approval of a PLAN OF SUBDIVISION or a CONSENT?</b>		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown

If the answer is "Yes," please provide the following information:

File Number:
Decision:

## SECTION 8: ALL EXISTING, PREVIOUS AND ADJACENT USE OF THE LAND

<b>8.1 ALL EXISTING USE</b>		
<input checked="" type="checkbox"/> Residential <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial	<input type="checkbox"/> Institutional <input type="checkbox"/> Agricultural <input type="checkbox"/> Parkland	<input type="checkbox"/> Vacant <input type="checkbox"/> Other (specify): _____
<b>8.2 What is the length of time the existing use(s) of the land have continued?</b>		
<div style="font-family: cursive; font-size: 1.2em; margin-left: 100px;">Forever</div>		
<b>8.3 Are there any buildings or structures on the subject land?</b>		
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		
If Yes, briefly describe and indicate their use. <div style="font-family: cursive; font-size: 1.2em; margin-left: 100px;">Garage, 2 sheds</div>		




<b>8.4 Are any of these buildings designated under the Ontario Heritage Act?</b>		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
<b>8.5 Has the grading of the subject land been changed by adding earth or material? Has filling occurred on the subject land?</b>		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
<b>8.6 Has a gasoline station and/or automobile service station been located on the subject land or adjacent lands at any time?</b>		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
<b>8.7 Has there been petroleum or other fuel stored on the subject land or adjacent lands?</b>		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
<b>8.8 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?</b>		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
<b>8.9 Have the lands or adjacent lands ever been used as an agricultural operation where pesticides have been applied to the lands?</b>		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
<b>8.10 Have the lands or adjacent lands ever been used as a weapon firing range?</b>		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
<b>8.11 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the boundary line of an operational / non-operational public or private landfill or dump?</b>		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
<b>8.12 If there are existing or previously existing buildings on the subject lands, are there any building materials remaining on site which are potentially hazardous to public health (e.g., asbestos, PCB's)?</b>		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
<b>8.13 If there has been industrial or commercial uses on the property, a previous use inventory is needed. Is a previous use inventory attached?</b>		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
<b>8.14 Is there reason to believe the subject lands may have been contaminated by existing or former uses on the site or adjacent sites?*</b>		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
<p>If previous use of property is industrial or commercial or if the answer was <b>YES</b> to any of the above, please attach a previous use inventory showing all former uses of the land, or if applicable, the land(s) adjacent to the land.</p> <p>*Possible uses that can cause contamination include operation of electrical transformer stations, disposal of waste minerals, raw material storage, and residues left in containers, maintenance activities, and spills. Some commercial properties such as gasoline stations, automotive repair garages, and dry-cleaning plants have similar potential. Any industrial use can result in potential contamination. The longer a property is under industrial or similar use, the greater the potential for site contamination. Also, a series of different industrial or similar uses upon a site could potentially increase the number of chemicals which are present.</p>		

## ACKNOWLEDGMENT CLAUSE

I hereby acknowledge that it is my responsibility to ensure that I am in compliance with all applicable laws, regulations and standards pertaining to contaminated sites. I further acknowledge that the City of Port Colborne is not responsible for the identification and / or remediation of contaminated sites, and I agree, whether in (or as a result of) any action or proceeding for environmental clean-up of any damage or otherwise, I will not sue or make claim whatsoever against the City of Port Colborne, its officers, officials, employees or agents for or in respect of any loss, damage, injury or costs.

X Aug 19/2025  
Date

X   
Signature of Owner

## NIAGARA PENINSULA CONSERVATION AUTHORITY

### Pre-Screening Criteria

<b>9.1 Is there land on the property identified in the Official Plan and / or Zoning By-law as "hazard lands"?</b>		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
<b>9.2 Is there a watercourse or municipal drain on the property or within 15 metres of the property?</b>		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
<b>9.3 Is the property located on or within 30 metres of the Lake Erie shoreline?</b>		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
<b>9.4 Is there a valley slope on the property?</b>		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
<b>9.5 Is there known localized flooding or a marsh / bog area on or within 30 metres of the property?</b>		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
<b>9.6 Is the property on a Regional Road?</b>		
<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Unknown

## AUTHORIZATIONS

### SIGNATURE OF APPLICANT(S)

X Aug 19/2025  
Date

X [Signature]  
Signature of Applicant(s)

Please note: If the applicant is not the owner of the subject land or there is more than one owner, written authorization of the owner(s) is required (Complete Form 1) indicating that the applicant is authorized to make application.

I/We Daniel Covello  
Of the City/Town/Township of Fort Erie  
In the County/District/Regional Municipality of Niagara

solemnly declare that all the statements contained in this application are true, and I/we make this solemn declaration conscientiously believing it to be true, and knowing that it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.

DECLARED before me at the  
City of Port Colborne  
In the Region of Niagara  
This 2025 19th day of August  
20 25.

TO BE SIGNED IN THE PRESENCE OF A  
COMMISSIONER FOR TAKING AFFIDAVITS

X [Signature]  
Daniel Covello  
Signature of applicant(s), solicitor, or authorized

Tanya Taraba  
A Commissioner, Tanya Hope Taraba, a Commissioner, etc.  
Province of Ontario, for the Corporation  
of the City of Port Colborne.

Expires January 31, 2027.  
Personal information collected on this application will become part of a public record. Any questions regarding this collection should be directed to the City Clerk at 66 Charlotte Street, Port Colborne, Ontario L3K 3C8 (905) 835-2900 Ext. 106.



### POSTING OF PUBLIC HEARING SIGN

A public hearing sign is required to be posted by all applicants or agents on each property under application. A sign will be made available to you after review of your application, and you are required to post each sign in a prominent location on the subject property. The sign should be placed so that it is legible from the roadway.

Each sign must remain posted a minimum of 14 days prior to the hearing, until the day following the hearing. Should a sign go missing or become damaged or illegible please contact the Secretary-Treasurer as soon as possible to request a replacement sign. Failure to post the sign as required may result in deferral of your application(s).

**\*Please note that an affidavit must also be signed and commissioned in the presence of a Commissioner of Oaths. This can be done at City Hall AFTER the signs have been posted.\***

I/We Daniel Corello am/are the owner(s) of the land subject to this application for Consent and I/We agree to post the required sign(s) a minimum of 14 days prior to the hearing and will remain posted, and replaced, if necessary, until the day following the hearing.

X [Signature]  
Signature of Owner/Agent

X Aug 19/2025  
Date

X \_\_\_\_\_  
Signature of Owner/Agent

X \_\_\_\_\_  
Date

### PERMISSION TO ENTER

I/We Daniel Corello am/are the owner(s) of the land subject to this application for Consent and I/We authorize the members of the Committee of Adjustment and the City of Port Colborne Planning Staff to enter onto the property for the purpose of evaluating the merits of the application(s).

**\*Please note that the Committee should not be contacted by members of the public. Any comments, questions or concerns should be addressed through the Planning Division.\***

X [Signature]  
Signature of Owner

X Aug 19<sup>th</sup>/2025  
Date

X \_\_\_\_\_  
Signature of Owner

X \_\_\_\_\_  
Date



### AUTHORIZATION FOR AGENT / SOLICITOR (IF APPLICABLE)

If the application is not the owner of the land that is subject to this application for Consent, the authorization set out below must be completed by the owner(s). All registered owners must complete the authorization form for it to be valid.

Please Note: If the registered owner is a corporation, in addition to the signatures of the authorized signing officers, the corporate seal must be affixed.

Where the Owner is without a spouse, common-law or legally married, the Owner is required to sign on behalf of the spouse. Where the spouse of the Owner is not an owner, the spouse is required to sign. Spouse shall include a common-law spouse as defined within the *Family Law Reform Act*.

I/We \_\_\_\_\_ am/are the owner(s) of the land that is subject to this application for Consent and I/We hereby authorize \_\_\_\_\_ as my/our agent for the purposes of submitting an application(s) to the Committee of Adjustment for a Consent.

X

\_\_\_\_\_  
Signature of Owner

X

\_\_\_\_\_  
Date

X

\_\_\_\_\_  
Signature of Owner

X

\_\_\_\_\_  
Date

X

\_\_\_\_\_  
Signature of Agent

X

\_\_\_\_\_  
Date

## SUGGESTION TO THE APPLICANT

Notice of your application is required for several agencies. All written responses will be considered before reaching a decision on your application.

Although you are under no obligation to do so, we suggest that you discuss your intentions with the appropriate agencies from the list below, before submitting an application. This pre-consultation could provide you with information about the City of Port Colborne Official Plan, the minimum requirements and permitted uses of Zoning By-law 6575/30/18, the Regional Policy Plan, the concerns of various Provincial Ministries, and other relevant information which may have a direct effect upon the final decision on your application.

1. Port Colborne Planning and Development Department  
66 Charlotte Street, Port Colborne, Ontario L3K 3C8  
General Planning Department  
(905) 835-2900, Ext. 286  
Information on the Port Colborne Official Plan and Zoning Bylaw
2. Port Colborne Planning and Development Department  
66 Charlotte Street, Port Colborne, Ontario L3K 3C8  
Engineering Technologist  
(905) 835-2900, Ext. 226  
Information on Servicing, Lot Grading and Drainage
3. Port Colborne Building Division  
66 Charlotte Street, Port Colborne, Ontario L3K 3C8  
Building Clerk  
(905) 835-2900, Ext 229  
Information about the Building Code
4. Region of Niagara Public Works Department  
Planning and Development Department  
1815 Sir Isaac Brock Way, Thorold, Ontario L2V 4T7  
(905) 980-6000, Ext. 3727  
Information about the Regional Policy Plan, Agriculture, Public Works & Regional Health, and for concerns regarding Provincial Policy and Ministry responsibilities
5. The Niagara Peninsula Conservation Authority  
250 Thorold Road West, Welland, Ontario L3C 3W2  
Watershed Planner  
(905) 788-3135, Ext 272  
For information about lands which may be zoned as "Hazard" in the local zoning by law, lands adjacent to watercourses, Lake Erie or flood plains
6. Ministry of Transportation of Ontario  
Corridor Management Section  
159 Sir William Hearst Ave, 7<sup>th</sup> Floor, Toronto, Ontario M3M 1J8  
For information about sight plan applications for lands fronting onto provincial highways
7. Ministry of Transportation of Ontario  
Corridor Management Section  
1201 Wilson Avenue, Bldg D, 7<sup>th</sup> Floor, Downsview, ON, M3M 1J8  
1-866-636-0663  
For information about official plan amendments, consents, re-zonings, and other inquiries for lands fronting onto provincial highways
8. Ministry of Municipal Affairs and Housing. *Provincial Policy Statement* (PPS) available for download



## PORT COLBORNE

DEVELOPMENT AND GOVERNMENT RELATIONS DEPARTMENT

### COMMITTEE OF ADJUSTMENT NOTICE OF PUBLIC HEARING

Consent Application  
File No. A18-25-PC  
File No. A19-25-PC  
File No. B10-25-PC

**IN THE MATTER OF** the *Planning Act, R.S.O., 1990*, c.P. 13, Section 53 (1) and Sections 5.3 (a) (d) (e), Section 2.8.1 (iv), of the City of Port Colborne Zoning By-law 6575/30/18, as amended;

**AND IN THE MATTER OF** the lands legally known as Plan 47, Lot 2, Lot 3, New Plan 878, in the City of Port Colborne, located in the First Density Residential (R1) zone, municipally known as 252 Division Street;

**AND IN THE MATTER OF AN APPLICATION** by the owner, Frank Grsic, for consent to sever for the purposes of creating a new residential lot. The subject parcels are shown as Parts 1 and 2 on the proposed sketch, where Part 1 is to be retained for an existing residential use and Part 2 is to be severed for a future residential use. The owner is also requesting relief from the provisions of Zoning By-law 6575/30/18, as amended, under section 45 of the *Planning Act, R.S.O 1990 C.P 13*, to permit the severance of the lands and construction of a future residential building, notwithstanding the following:

#### A18-25-PC:

1. That a minimum interior side yard setback of 1.1m be permitted, whereas a minimum interior side yard setback of 1.5m is required.
2. That a minimum interior side yard setback of 0.6m be permitted for the side yard windows, whereas a minimum interior side yard setback of 0.6m is required.

#### A19-25-PC:

1. That a minimum lot frontage of 12.4m be permitted, whereas a minimum lot frontage of 15m is required.
2. That a minimum front yard setback of 3m be permitted, whereas a minimum front yard setback of 6.5m is required.
3. That a minimum interior side yard setback of 1.2m be permitted, whereas a minimum interior side yard setback of 1.5m is required.
4. That an interior side yard setback of 1m for the accessory structure be permitted, whereas an interior side yard setback of 1m is required.

**Explanatory Relief from the Zoning By-law:** The applicant is requesting permission to sever the property with a smaller lot size, frontage, and side yard setback, for future residential purposes, which requires a minor variance from the provisions of the Zoning By-law. A sketch of the proposed site plan is shown on the reverse side of this notice. More information, such as a higher resolution PDF version of the sketch, can be requested through the Secretary-Treasurer.

#### LOCATION MAP



PLEASE TAKE NOTICE that this application will be heard in-person and virtually by the Committee of Adjustment as shown below:

Date: October 8, 2025  
Time: 6:00 p.m.  
Location: 66 Charlotte Street – Third Floor Council Chambers and Virtually via Zoom

Additional information regarding this application is available for public inspection. An appointment can be scheduled in the office of the Planning and Development department, Monday to Friday, during the hours of 8:30 A.M. to 4:30 P.M., by telephone at (905)-228-8124 or through email at taya.taraba@portcolborne.ca to view the material.

**PUBLIC HEARING:** You are entitled to participate and express your views about this application, or you may be represented by counsel for that purpose. The Planning Division’s report may be available for public inspection by **Friday, October 3, 2025**. If you are receiving this notice as the owner of land that contains multiple residential units, please post this in a location that is visible to all tenants.

Electronic Hearing Procedures  
How to Get Involved in the Hearing

The meeting will be held in person and will be livestreamed on the City’s YouTube channel.

Anyone wishing to participate in the meeting can attend either virtually or in-person and is encouraged to submit a written submission that will be circulated to the Committee of Adjustment prior to the meeting. All comments submitted are part of the public record. If anyone wishes to orally participate in the meeting, they must pre-register with the Secretary-Treasurer. **Written submissions and participation requests must be received by 12:00 p.m. on Tuesday, October 7, 2025**, by emailing taya.taraba@portcolborne.ca or by calling (905)-228-8124. Written submissions may also be submitted to the mail slot located in the front-left of City Hall; 66 Charlotte Street.

If you have any questions about the application(s) or submission process, please email taya.taraba@portcolborne.ca or call (905)-228-8124.

If you wish to be notified of the decision of the Committee of Adjustment in respect to this application, you must submit a written request to the Secretary-Treasurer.

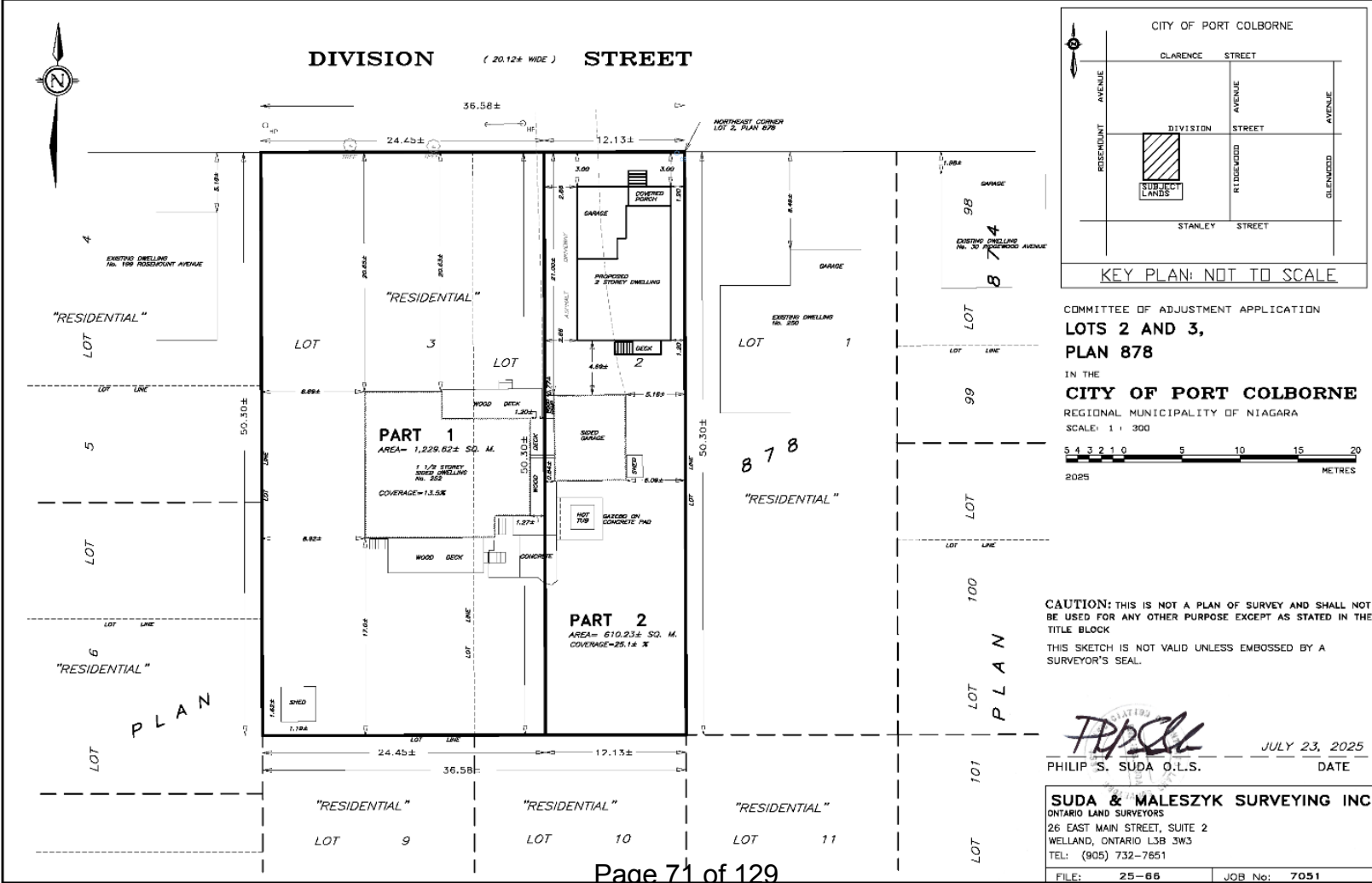
By order of the Committee of Adjustment,

Date of Mailing: September 19, 2025

Taya Taraba

Taya Taraba  
Secretary-Treasurer

SKETCH





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**Development and Government Relations**

**Planning Division Report**

October 8, 2025

Secretary-Treasurer  
Port Colborne Committee of Adjustment  
66 Charlotte Street  
Port Colborne, ON L3K 3C8

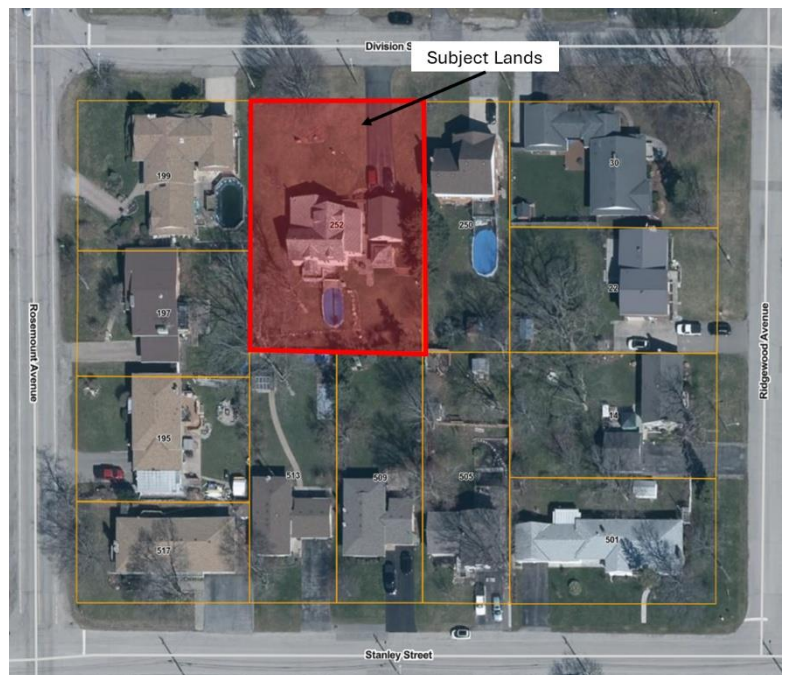
**Re: Application for Minor Variance File No. A18-25-PC & A19-25-PC  
PLAN 47 LOT 2 LOT 3 NP878  
252 Division Street  
Owner: Frank Grsic**

**Proposal**

The purpose of this report is to provide a recommendation on two Minor Variance applications (A18-25-PC and A19-25-PC). These Minor variance applications complement a concurrent Consent application (File: B10-25-PC) at 252 Division Street (subject lands) as shown in Figure 1.

Minor Variance A18-25-PC is requesting relief from the side yard setback for an existing dwelling. The existing dwelling will no longer meet the side yard setback requirements if severed as proposed.

Minor Variance A19-25-PC is requesting relief from several provisions of Zoning By-law 6575/2013/18 including: reduced lot frontage, reduced front yard setback and side yard setback (for a proposed structure) and a proposed side yard setback for an existing accessory building. In addition, staff have also identified that the application will require relief from the provision that an accessory building cannot be built prior to a principle building.



*Figure 1 (above): Subject Lands*

## Surrounding Land Uses and Zoning

The subject lands are zoned Residential First Density (R1). The parcels surrounding the subject lands are also zoned R1. The area surrounding the subject lands is comprised of residential homes.

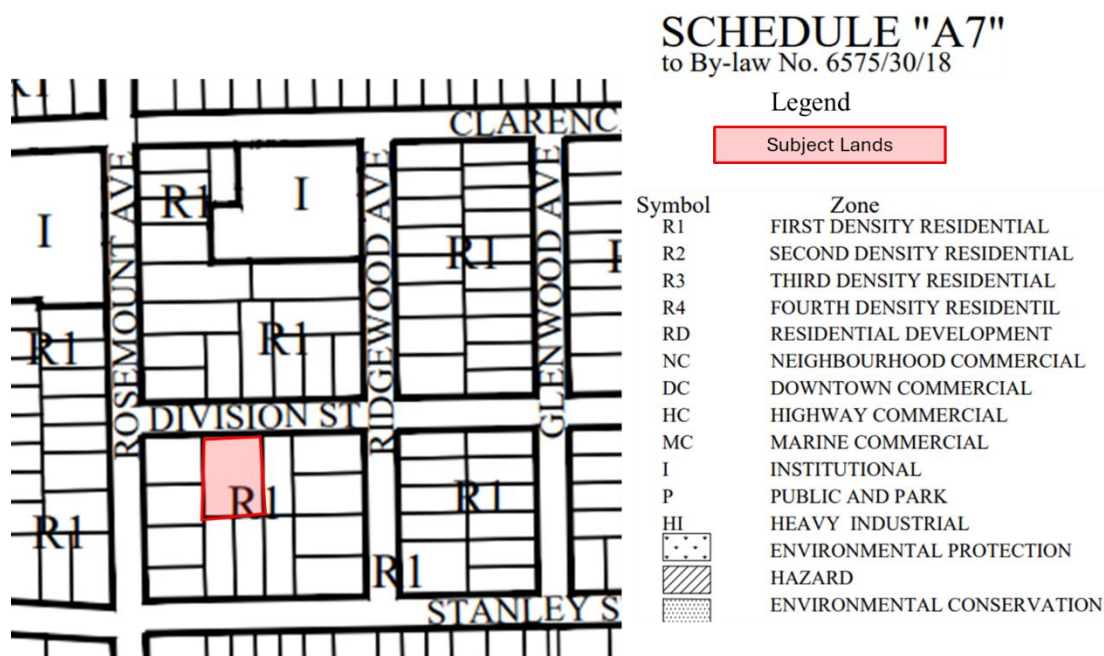


Figure 2 (above): Zoning of the subject and surrounding lands

## Environmentally Sensitive Areas

The subject lands do not contain any environmental features.

## Public Comments

Notice was circulated on September 19, 2025, to properties within 60 metres of the subject lands, in accordance with the *Planning Act*. The following comments were received as of the date of writing this report:

- Opposition to both the proposed severance, variance and development based on concerns with impact on neighbourhood character; loss of greenspace; traffic and safety; loss of privacy; and, impact on the surrounding neighbourhood/ community.

## Agency Comments

Notice of the application was circulated on September 9, 2025, to internal City departments and external agencies. As of October 3, 2025, the following comments have been received.

<b>Commenter</b>	<b>Comments</b>	<b>Planning Staff Response</b>
<b>Drainage Superintendent</b>	No objections.	Noted
<b>Fire Department</b>	Part 1, the existing dwelling, will need to be readdressed.	Condition 3a has been included as part of the recommendation to reflect the Fire Department comments.
<b>Engineering Technologist</b>	No objections	Noted
<b>Ministry of Transportation (MTO)</b>	MTO has reviewed the site location and has no comments to provide as this site is outside of MTO permit jurisdiction. No MTO permits or approvals would be required by the proponent for any development at the above address at this time	Noted

## **Discussion**

The applications are requesting the following variances:

- For Part 1 (A18-25-PC): That a side yard setback of 1.11 metres be permitted where 1.5 metres is required.
- For Part 2 (A19-25-PC):
  - That a lot frontage of 12.13 metres be permitted where 15 metres is required;
  - That a front yard setback of 3.0 metres be permitted where 6.5 metres is required;
  - That a side yard setback of 1.2 metres (for a proposed building) be permitted where 1.5 metres is required;
  - That a side yard setback of 1.0 metres (for an existing detached garage) be permitted where 1.5 metres is required; and,
  - The relief from provision 2.8.1a)i) which requires a principle building to exist prior to an accessory structure.

For a minor variance application to be approved, it must meet the four-part test outlined under section 45 (1) of the *Planning Act*. An analysis of the four tests follows.

Part 1 (A18-25-PC):

***Does the application maintain the general intent and purpose of the Zoning By-law?***

The general intent of the Zoning By-law provisions related to building setbacks is to maintain privacy, and protect the environment and community character by creating space between buildings and property lines, streets, and other structures, while maintaining the character of the surrounding area.

In this case, the proposed reduced side yard setback from 1.5 metres to 1.11 metres is consistent with the other dwellings and structures in the surrounding area. Examples of other dwellings and buildings with setbacks of less than 1.5 metres can be found in the surrounding area.

Accordingly, the proposed variance maintains the general intent and purpose of the Zoning By-law by respecting the established lot pattern, providing sufficient space for development, and ensuring compatibility with the surrounding area.

***Does the application maintain the general intent and purpose of the Official Plan?***

The subject lands are designated Urban Residential in the City's Official Plan. Section 3.2 of the City's Official Plan indicates that the Urban Residential lands are primarily used for residential purposes. The Urban Residential policies support low-density residential uses and encourage the efficient use of land within the urban boundary. The requested minor variance to permit a 1.11 metre side yard setback, where 1.5 metres is required, applies to the retained lot containing an existing dwelling. The variance reflects a technical deficiency created by the severance and does not involve any physical change to the existing dwelling. The Official Plan supports the continued use of existing residential buildings that contribute to the character and stability of established neighbourhoods. The reduced side yard setback is not anticipated to result in any negative impacts on adjacent properties. The existing dwelling has functioned compatibly within the neighbourhood with the current setback, and the variance simply formalizes this condition to enable the severance. As such, this application maintains the general intent and purpose of the City of Port Colborne Official Plan (OP) by supporting intensification within the existing Urban Residential area.

***Is the variance desirable for the appropriate development or use of the land, building, or structure?***

The proposed variance facilitates the creation of a new lot that is compatible with the surrounding development pattern and supports appropriate residential use within an established residential neighbourhood.

The reduced side yard setback for the existing dwelling is consistent with other buildings in the neighbourhood where side yard setbacks for primary dwellings do not appear to meet the current R1 setback of 1.5 metres.



As such, the variance is desirable for the appropriate development and use of the land.

***Is the variance minor in nature?***

The applicant has proposed to sever the subject lands at 252 Division Street. The subject lands currently contain an existing dwelling and detached garage. The proposed new lot line is located between the structures (as shown in **Appendix A**). The proposed lot line is laid out in a manner which balances frontage requirements with the location of existing structures. It is staff opinion that the reduction in side yard setback from 1.5 metres to 1.11 metres is a reasonable request to facilitate the creation of a new lot while maintaining exiting housing stock. As such, the variance requested is minor in nature.

**Part 2: (A19-25-PC):**

***Does the application maintain the general intent and purpose of the Zoning By-law?***

The subject property is zoned Residential First Density (R1) in the City of Port Colborne Zoning By-law. As noted previously, the applicant is requesting relief from several provisions of the R1 zone to facilitate the development of a new single detached dwelling on a newly created lot. The requested variances are:

- Lot frontage of 12.13 metres where 15 metres is required;
- Front yard setback of 3.0 metres where 6.5 metres is required;
- Side yard setback of 1.2 metres (proposed dwelling) where 1.5 metres is required;
- Side yard setback of 1.0 metre (existing detached garage) where 1.5 metres is required;
- Relief from Section 2.8.1 a)i), which requires a principal building to exist prior to an accessory structure.

An analysis of each of the requests is summarized below

***Lot Frontage***

The proposed frontage of 12.13 metres is sufficient to accommodate a single detached dwelling that is compatible with the surrounding neighbourhood. The general intent of the Zoning By-law provisions related zone requirements is to establish a minimum lot width along a street, controlling the size, shape, and character of lots to ensure developments are consistent with their surroundings, compatible with neighbouring buildings. The reduced frontage still allows for adequate access, landscaping, and separation between dwellings, and does not undermine the intent of the R1 zone to maintain low-density residential character.

***Front Yard Setback***

Setbacks are established to maintain privacy, and protect the environment and community character by creating space between buildings and property lines, streets, and other structures, while maintaining the character of the surrounding area. A front yard setback of 3.0 metres represents a significant departure from the established 6.5 metre standard and would result in a dwelling that is substantially

forward of adjacent homes, disrupting the rhythm of the streetscape. Zoning By-law 6575/30/18 does not have any residential zone types where front yard setbacks for single detached dwellings are less than 6.5 metres. The variance, as requested, will have the effect of creating a lot that appears overbuilt, as the proposal seeks relief from both side yard setbacks as well as the front yard setback. It is staff's opinion that the layout for the proposed dwelling could be reconfigured to meet the existing R1 zone setbacks

#### *Accessory Structure without Principal Building*

Relief from Section 2.8.1 a)i) is not supported. This provision ensures that accessory structures are subordinate to and functionally related to a principal use. Permitting an accessory structure (garage) to exist without a principal dwelling undermines the intent of the regulation and may result in land use conflicts or inappropriate site use.

#### *Side yard setback (existing garage)*

The request to recognize a 1.0 metre side yard setback for the existing detached garage is directly tied to the above issue. The garage would exist without an associated principal building, and the reduced setback is only required due to the creation of a new lot line through the severance. As noted previously, it is staff's opinion that the layout for a proposed new dwelling could be reconfigured to meet the existing R1 zone setbacks. Supporting a reduced setback for an accessory structure prior to the erection of a principle dwelling is premature and is not consistent with the intent of the Zoning By-law.

#### *Summary*

While the variance respecting lot frontage could be supported and meets the general intent and purpose of the Zoning by-law, the balance of reliefs exceed what staff consider to be reasonable for the R1 zone. Accordingly, the proposed variance does not maintain the general intent and purpose of the Zoning By-law.

#### ***Does the application maintain the general intent and purpose of the Official Plan?***

The subject lands are designated Urban Residential in the City of Port Colborne Official Plan, which supports low-density residential development that is compatible with surrounding uses and contributes to the efficient use of land and infrastructure within the urban area.

The proposed variances facilitate the development of a single detached dwelling on a newly created lot, which aligns with the Official Plan's objectives for intensification, housing diversity, and efficient land use. The proposal contributes to the residential fabric of the neighbourhood and supports the creation of additional housing within the built-up area, consistent with the City's growth management and housing policies.

While certain zoning provisions are not met, the overall form and use of the proposed development remain compatible with the surrounding residential context. The proposal maintains the low-density character of the area and does not introduce land use conflicts or adverse impacts on adjacent properties.

Accordingly, the application is considered to conform to the general intent and purpose of the Official Plan.

***Is the variance desirable for the appropriate development or use of the land, building, or structure?***

The proposed variances are intended to facilitate the development of a new single detached dwelling on a newly created lot within an established low-density residential neighbourhood.

The requested reduction in lot frontage from 15 metres to 12.13 metres is considered desirable. Although the frontage is below the minimum required in the R1 zone, the lot area exceeds the minimum requirement, and the proposed lot is capable of supporting a single detached dwelling that is compatible with the surrounding development pattern.

The reduced frontage is not anticipated to negatively impact the streetscape or the function of the lot and is therefore considered appropriate. However, the balance of the requested variances are not considered desirable for the appropriate development of the land.

The proposed 3.0 metre front yard setback would result in a dwelling that is significantly forward of the established building line along Division Street. The existing dwelling at 252 Division Street is set back approximately 20 metres, while the abutting property to the east is set back approximately 8.49 metres. Other homes on the street generally maintain front yard setbacks of approximately 10 metres, contributing to a consistent and spacious streetscape. The proposed setback would disrupt this pattern and appear visually intrusive.

The requested side yard reductions further constrain the building envelope, resulting in a development that appears overbuilt for the lot and inconsistent with the intended spatial separation in the R1 zone. These setbacks limit access, reduce privacy, and diminish the open space character typical of the area.

Additionally, the request to permit the existing detached garage to remain without a principal building is not desirable. Section 2.8.1 a)i) of the Zoning By-law is intended to ensure that accessory structures are subordinate and functionally related to a principal use. Allowing the garage to remain in isolation undermines this intent. Furthermore, the garage's non-complying 1.0 metre side yard setback compounds the issue by reinforcing a built form that does not align with the standards of the zone. Supporting a reduced setback for a structure that should not exist independently would set an undesirable precedent.

It is staff's opinion that the proposed dwelling could be reconfigured to comply with the R1 zone's setback requirements. This might require the relocation (rearward) or removal of the existing detached garage, but would result in a more appropriate and compatible form of development.

As such, the variances, aside from the reduced frontage, are not desirable for the appropriate development or use of the land.

***Is the variance minor in nature?***

The applicant has proposed to sever the subject lands at 252 Division Street. The subject lands currently contain an existing dwelling and detached garage. The proposed new lot line is located between the structures (as shown in Appendix A). The proposed lot line is laid out in a manner which balances frontage requirements with the location of existing structures.

It is staff's opinion that the relief sought to create the proposed lot (reduced frontage), is minor in nature. However, it is also staff's opinion that the additional reliefs sought to maintain the existing detached garage and locate a proposed dwelling in front of the existing detached garage exceed the threshold of what can be considered minor in nature.

As such, the variance as requested is not minor in nature.

**Recommendation**

Given the information above, Planning staff recommend applications:

A18-25-PC be **granted** for the following reasons:

- 1. The application is minor in nature.**
- 2. It is desirable for the appropriate development of the land.**
- 3. It maintains the general intent and purpose of the Zoning By-law.**
- 4. It maintains the general intent and purpose of the Official Plan.**

**Note:** The applicant provided a revised drawing, and further information after the circulation date for this application (A19-25-PC). Staff have conducted their review and made recommendations based on the application as originally submitted.

A19-25-PC be **refused** for the following reasons:

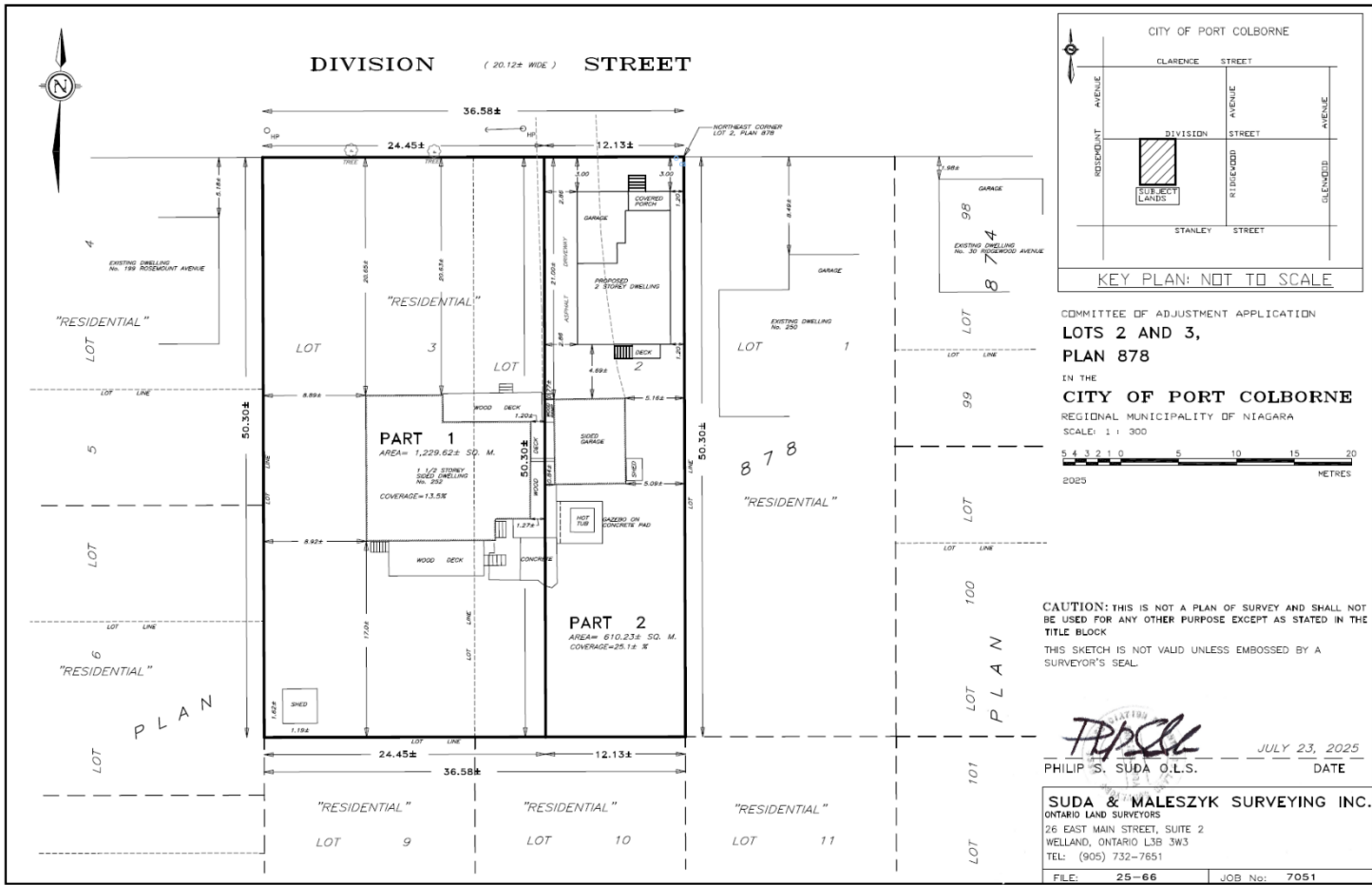
- 1. The application is not minor in nature.**
- 2. It is not desirable for the appropriate development of the land.**
- 3. It does not maintain the general intent and purpose of the Zoning By-law.**
- 4. It maintains the general intent and purpose of the Official Plan.**



Respectfully submitted,

Erik Acs  
Chief Planner

Appendix A



**Development and Government Relations Department**

**Planning Division Report**

October 8, 2025

Secretary-Treasurer  
Port Colborne Committee of Adjustment  
66 Charlotte Street  
Port Colborne, ON L3K 3C8

**Re: Applications for Consent: B10-25-PC  
PLAN 47 LOT 2 LOT 3 NP878  
252 Division Street  
Owner: Frank Grsic**

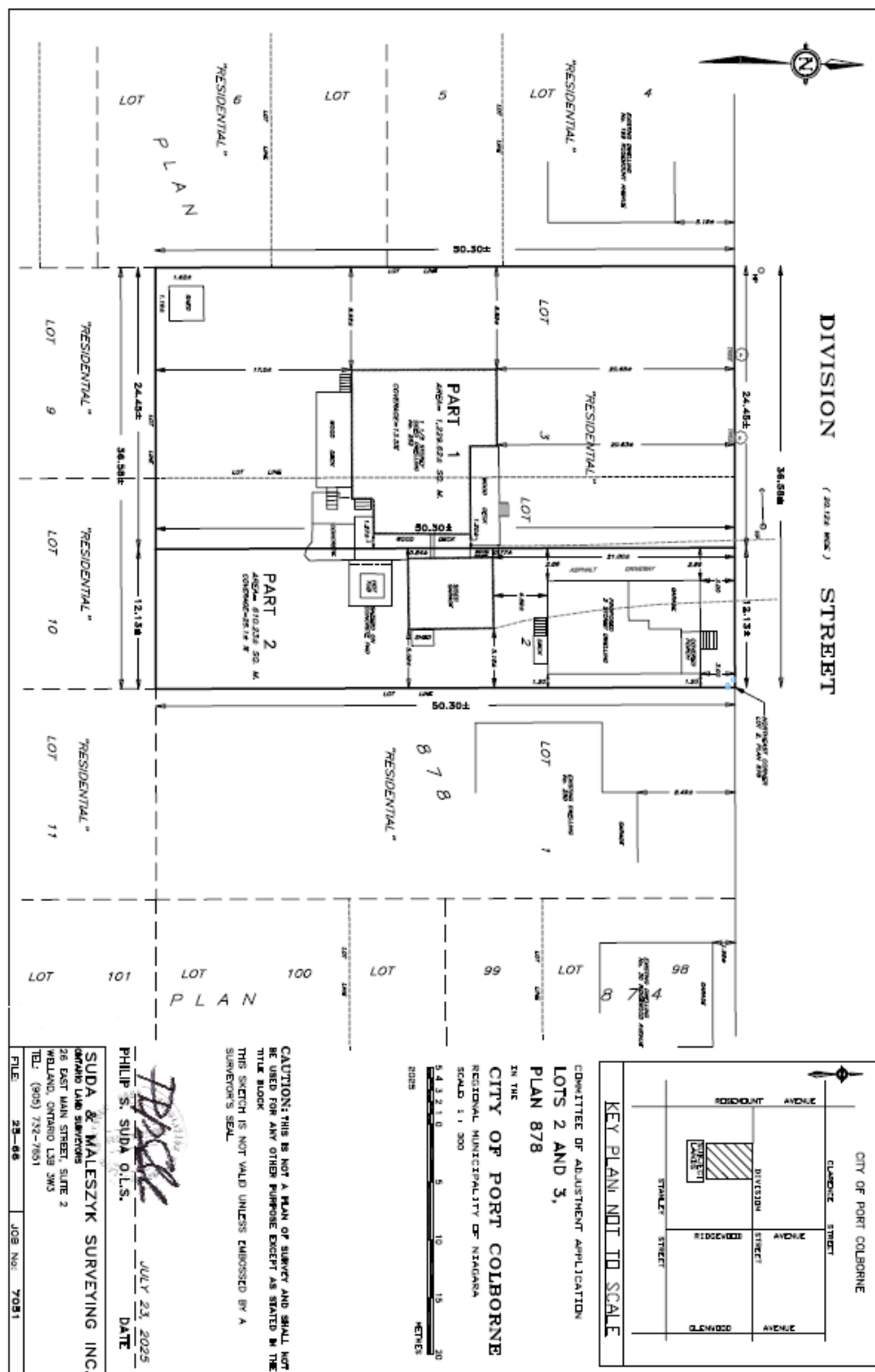
**Proposal**

The purpose of this application is to permit the severance of the parcel at 252 Division Street (subject lands), for the purpose of creating a new residential lot, as illustrated in the provided figures and described below:

- **Part 1** is proposed to **be retained** by the current owner, and the existing dwelling will remain. The proposed frontage will be 24.45 metres, with an area of 1229.62 square metres.
- **Part 2** is proposed to **be severed** for the creation of a new residential lot. The proposed frontage will be 12.13 metres, with a lot area of 610.23 square metres. The applicant has proposed to keep the existing garage.



*Figure 1 (above): Subject Lands*





## Surrounding Land Uses and Zoning

The subject lands are zoned Residential First Density (R1). Two Minor Variance applications were submitted concurrently with the Consent application. The first (File: A18-25-PC) is to recognize deficiencies created by the severance related to the existing dwelling (Part 1). The second (File: A19-25-PC) requests a reduction in lot frontage as well as other reliefs to facilitate future development of the site.

The parcels surrounding the subject lands include residential properties in the First, Density Residential Zone (R1). Figure 3 below shows the zoning of the subject and surrounding lands.

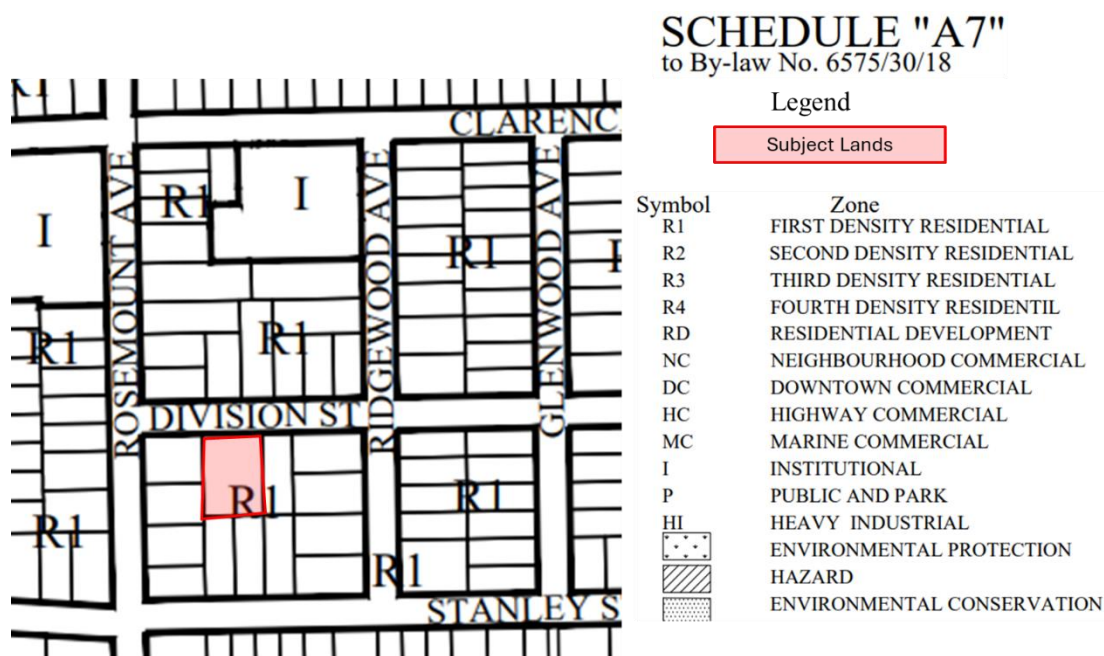


Figure 3 (above): Zoning of the subject and surrounding lands

## Environmentally Sensitive Areas

The subject lands do not contain any environmentally sensitive areas.

## Public Comments

Notice was circulated on September 19, 2025, to properties within 60 metres of the subject lands, in accordance with the *Planning Act*. The following is a summary of formal comments received as of the date of writing this report:

- Opposition to both the proposed severance, variance and development based on concerns with impact on neighbourhood character; loss of greenspace; traffic and safety; loss of privacy; and impact on the surrounding neighbourhood/ community.

## Agency Comments

Notice of the application was circulated on September 9, 2025, to internal City departments and external agencies. As of October 3, 2025, the following comments have been received.

<b>Commenter</b>	<b>Comments</b>	<b>Planning Response</b>	<b>Staff</b>
<b>Drainage Superintendent</b>	No objections.	Noted	
<b>Fire Department</b>	Part 1 will need to be readdressed	Condition 2a has been included as part of the recommendation to reflect the Fire Department comments.	
<b>Engineering Technologist</b>	No objections	Noted	
<b>Ministry of Transportation (MTO)</b>	MTO has reviewed the site location and has no comments to provide as this site is outside of MTO permit jurisdiction. No MTO permits or approvals would be required by the proponent for any development at the above address at this time	Noted	

### **Discussion**

Consent applications B10-25-PC was reviewed in consideration of the applicable policies in the Provincial Planning Statement (2024), the Niagara Official Plan (2022), the City of Port Colborne Official Plan (2013), and Zoning By-law 6575/30/18.

#### **Provincial Planning Statement (PPS)**

Based on the policies and definitions in the PPS, the subject lands are within a settlement area. Section 2.3.1.1 of the PPS states that settlement areas shall be the focus of growth and development. Section 2.3.1.2 encourages land use patterns within settlement areas to be based on densities and a mix of uses which efficiently use land and resources, optimizing existing and planned infrastructure. Section 2.3.1.3 requires that planning authorities support redevelopment to help achieve complete communities.

Severance application B10-25-PC is consistent with the PPS. The proposal to create a new lot within the City's urban area supports the provincial requirement to direct growth and development to settlement areas. The retained and severed lands are municipally serviced, which contributes to the efficient use of existing infrastructure.

### Niagara Official Plan (NOP)

The Niagara Official Plan (NOP) provides the long-term land use planning framework for development across the Niagara Region, including the City of Port Colborne. The subject lands are designated as follows in the NOP:

- Delineated Built-up Area, in accordance with Schedule B, Regional Structure.

Section 2.2 of the NOP directs growth to settlement areas and states that most development will occur in urban areas, where municipal water and wastewater systems/services exist or are planned and a range of transportation options can be provided. The urban growth management policies in NOP Policy 2.2.1 encourage land use patterns that minimize land consumption, make efficient use of existing infrastructure, and promote orderly development while protecting natural heritage features.

The proposed consent applications conform to the NOP.

### City of Port Colborne Official Plan (OP)

The subject lands are designated Urban Residential in accordance with Schedule A of the OP. The Urban Residential designation (Section 3.2 of the OP) permits residential uses, neighbourhood commercial uses, cemeteries, parks, schools, community facilities and institutional uses normally located in residential areas.

Section 3.2.2 of the OP outlines the requirements for intensification and infill in the Urban Residential designation. Proposals for severances on lands designated Urban Residential are considered in accordance with the policies of Section 3.2.4 of the OP.

The proposed consent applications meet the requirements to sever the lands set out in the OP, subject to necessary conditions which are outlined in the Recommendation section of this report.

### City of Port Colborne Zoning By-law 6575/30/18

The subject lands are zoned Residential First Density (R1) in accordance with Zoning By-law 6575/30/18.

Two Minor Variance applications were submitted concurrently with the Consent application. The first (File: A18-25-PC) is to recognize deficiencies created by the severance related to the existing dwelling (Part 1). The second (File: A19-25-PC) requests a reduction in lot frontage as well as other reliefs to facilitate future development of the site.

Staff are reviewing the two Minor Variance applications concurrently under a separate report at the October 8, 2025 Committee of Adjustment hearing. A condition of approval of the consent application before the Committee is that Minor Variances be approved.

## Recommendation:

That consent application B01-25-PC and B02-25-PC be **granted** subject to the following conditions:

1. That the applicant provides the Secretary-Treasurer with the deeds for the conveyance of the subject parcels, including a registrable legal description of the subject parcels, and a copy of the deposited reference plan, for use in the issuance of the Certificate of Consent.
2. That the applicant signs the City of Port Colborne's standard "Memorandum of Understanding" explaining that development charges and cash-in-lieu of the dedication of land for park purposes, based on an appraisal, at the expense of the applicant, wherein the value of the land is to be determined as of the day before the issuance of a building permit, is required prior to the issuance of a building permit pursuant to Section 42 of the Planning Act. R.S.O 1990, as amended.
3. That, prior to depositing the reference plan, the following amendments are made to the satisfaction of City staff:
  - a. That the existing dwelling (Part 1) currently addressed as 252 Division Street be assigned a new address to allow the severed parcel (Part 2) to retain the address of 252 Division Street.
  - b. That the existing hot tub, concrete, deck and ramp which will be located on Part 2 be removed from Part 2.
  - c. That any portion of the existing asphalt driveway which will be located on Part 1, be removed from Part 1.
  - d. That a new driveway be constructed (with appropriate permit) for the existing dwelling located at Part 1.
  - e. That a new municipal water service be constructed (with appropriate permit) for Part 1.
  - f. That a new municipal wastewater service be constructed (with appropriate permit for Part 2.
4. That the applicant shall obtain final approval of a Minor Variance(s) to the satisfaction of the Chief Planner.
5. That a final certification fee of \$400 per application, for a total of \$800, payable to the City of Port Colborne, is submitted to the Secretary-Treasurer.



6. That all conditions of consent be completed by October 8, 2027.

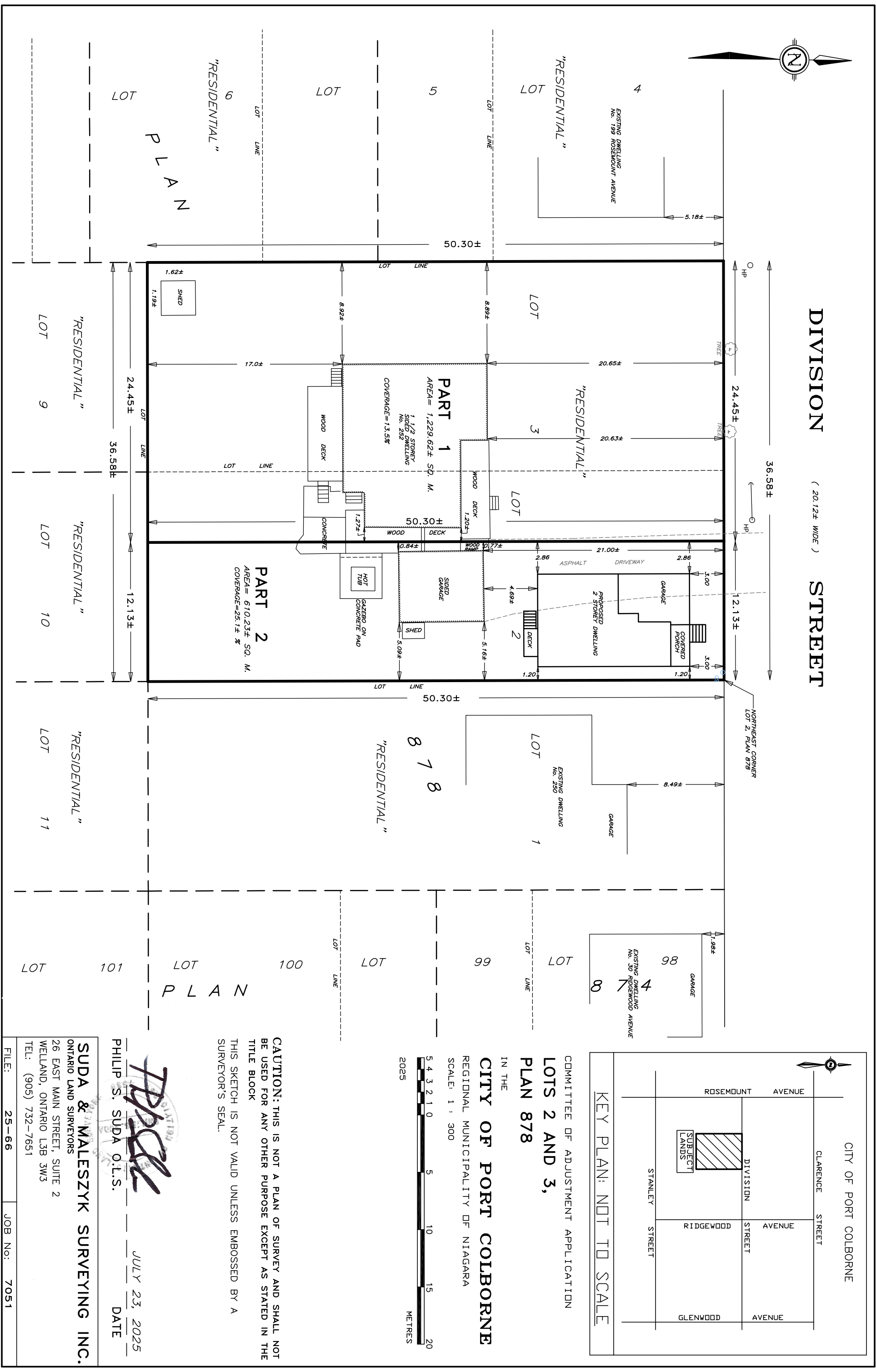
For the following reasons:

1. The application is consistent with the Provincial Planning Statement, conforms to the Niagara Official Plan and the City of Port Colborne Official Plan; and, after conditions are cleared, will comply with the provisions of Zoning By-law 6575/30/18, as amended.

Respectfully submitted,

Erik Acs

Chief Planner





## PORT COLBORNE

DEVELOPMENT AND LEGISLATIVE SERVICES

## MINOR VARIANCE APPLICATION

THE CITY OF PORT COLBORNE

The Planning Act – Section 45

RECEIVED

AUG 23 2025

For Office Use Only

Date Received: \_\_\_\_\_

Date of Completion: \_\_\_\_\_

Application Complete: ☐ Yes ☐ No

### SUBMISSION OF APPLICATION

Completed applications can be sent to:

City of Port Colborne  
Taya Taraba  
Secretary Treasurer of the Committee of Adjustment  
City Hall  
66 Charlotte Street  
Port Colborne, Ontario L3K 3C8

Telephone: 1-905-835-2900  
Fax: 1-905-835-2939  
Email: taya.taraba@portcolborne.ca

### 2025 APPLICATION FEES

Minor Variance	\$1,900
Minor Variance (Building without a Permit)	\$2,505
Minor Variance & Consent Combination	\$3,800

### COMPLETENESS OF APPLICATION

A complete application includes all required forms, fees, and applicable sketches, as well as any additional information that may be identified by the Secretary-Treasurer in accordance with the provisions under *the Planning Act, R.S.O. 1990, c.P. 13*, as amended.

#### To be considered complete, submitted applications must include:

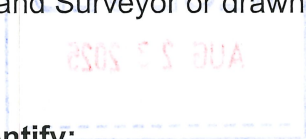
- One fully completed application for minor variance or permission signed by the applicant(s) and/or authorized agent and properly witnessed by a Commissioner for the taking of affidavits.
- A letter of authorization from the property owner, if applicable.
- **Two (2) copies** of a completed preliminary drawing (see the “Drawing Requirements” section).
- Payment of the appropriate fee submitted at the time of application through cash, credit, debit, or cheque payable to the City of Port Colborne.
- Payment of the appropriate Regional Review & Approval fee(s) if required by the Region, submitted at the time of the preliminary review. Payment can be submitted to the City of Port Colborne or to the Niagara Region. If payment is submitted to the Region directly, please submit the receipt to the City of Port Colborne. Failure to pay the Region's fee may result in an incomplete application. The Region's fees are available on its website, [https://www.niagararegion.ca/business/fpr/forms\\_fees.aspx](https://www.niagararegion.ca/business/fpr/forms_fees.aspx)
- Payment of the appropriate NPCA fee, if required, submitted at the time of the preliminary review. Payment can be submitted to the City of Port Colborne or to the NPCA. If payment is submitted to the NPCA directly, please submit the receipt to the City of Port Colborne. Failure to pay the NPCA's fee may result in an incomplete application.

**\*Note:** Additional information may be required once a full review has been completed by planning staff. This may prevent deferral of your application. \*



DRAWING REQUIREMENTS

Please submit two copies of each separate plan along with your completed application. Ensure that all the information below is included in the plan(s). Depending on the extent of the proposal, the **Planning Division may request a sketch prepared by a professional, and the Committee may require (at the discretion of the Manager of Planning Services) that the sketch be signed by an Ontario Land Surveyor.** This requirement can be clarified by the Planning Staff. The required sketch should be based on an actual survey by an Ontario Land Surveyor or drawn to a usable metric scale [e.g., 1:100, 1:300, 1:500].



To be considered complete, each sketch must identify:

- 1. The boundaries and dimensions of the land / lot.
- 2. The location and nature of any easement affecting the land, if applicable.
- 3. The location, size, height, and type of all existing and proposed buildings and structures on the land, indicating the distance of the buildings or structures from the front lot line, rear lot line and the side lot lines.
- 4. The parking areas, loading spaces, driveway entrance / exits.

PROCEDURES FOR PROCESSING APPLICATIONS FOR MINOR VARIANCE OR PERMISSION

Once the Secretary-Treasurer has received an application, the application will be circulated to external agencies for up to 10 days to determine whether additional information and/or fees are required. Once comments from these agencies have been received, the Secretary-Treasurer will inform the applicant of any additional information and/or fees required by these agencies (ie. Niagara Region, Niagara Peninsula Conservation Authority). If applicable, the applicant must submit this additional information and/or pay the additional fees for their application to be deemed complete. Once the application is deemed complete, a hearing date will be confirmed in writing by the Secretary-Treasurer.

Prior to the hearing, members of the Committee may choose to conduct a site visit and/or contact the applicants. **Please note that the Committee should not be contacted by members of the public.** Any comments, questions, or concerns should be addressed through the Planning Division.

Following the hearing, the applicant/agent/solicitor will be notified of the Committee’s decision in a written Notice of Decision. In addition, any other person or agency who filed a written request for the Committee’s decision will be sent a copy. Any applicant objecting to the decision of the Committee, or the condition(s) imposed by the Committee may appeal the decision to the Local Planning Appeal Tribunal within 20 days after the Notice of Decision has been given. The notice of appeal, together with written reasons supporting the appeal and the fee, by certified cheque or money order payable to the Minister of Finance, must be filed with the Secretary-Treasurer, who in turn, will forward the appeal to the Local Planning Appeal Tribunal. The fee is \$300.00 for the first application to be appealed and \$25.00 for each additional related minor variance appeal.

NIAGARA PENINSULA CONSERVATION AUTHORITY REVIEW

Fees which are payable directly to Authority vary depending on the location and on the type of application. For land: abutting or within 15 meters of a water course; on or within 30 meters of the Lake Erie shoreline; on land identified as “Hazard Land” or “Environmental Protection” by the Port Colborne Official Plan or Zoning Bylaw; or within a groundwater recharge / discharge area, aquifer, or headwater on the property or within 30 meters of the property, the Niagara Peninsula Conservation Authority will charge an additional Plan Review Fee. These fees are provided on the Niagara Peninsula Conservation Authority’s website.

I acknowledge that I have read, understand, and agree to the terms outlined above.		
Name: FRENK GASIC	Date: 7/21/25	Initials: FG





## PORT COLBORNE

DEVELOPMENT AND LEGISLATIVE SERVICES

## MINOR VARIANCE APPLICATION

### THE CITY OF PORT COLBORNE

The Planning Act – Section 45

#### SECTION 1 : CONTACT INFORMATION

<b>1.1 Registered Owner (s):</b>	
Name: <b>FRANK GRISIC &amp; MISTY IRVINE</b>	
Mailing Address: <b>252 DIVISION ST</b>	
City: <b>PORT COLBORNE</b>	Province: <b>ON</b>
Postal Code: <b>L3K 3C1</b>	Telephone: <b>289 673 2728</b>
Fax:	Email: <b>FRANKGRISIC@GMAIL.COM</b>
<b>1.2 Owner's SOLICITOR (if applicable)</b>	
Name:	
Mailing Address:	
City:	Province:
Postal Code:	Telephone:
Fax:	Email:
<b>1.3 Owner's Authorized AGENT (if applicable)</b>	
Name:	
Mailing Address:	
City:	Province:
Postal Code:	Telephone:
Fax:	Email:
<b>1.4 Owner's ONTARIO LAND SURVEYOR (if applicable)</b>	
Name:	
Mailing Address:	
City:	Province:
Postal Code:	Telephone:
Fax:	Email:
<b>1.5 All communications should be sent to the:</b>	
<input checked="" type="checkbox"/> Owner <input type="checkbox"/> Solicitor <input type="checkbox"/> Agent	

#### SECTION 2: LOCATION OF SUBJECT LAND

Former Municipality:	
Concession No.	Lot(s): <b>2</b>
Registered Plan No. <b>878</b>	Lot(s): <b>3</b>
Reference Plan No.	Part(s):
Name of Street: <b>DIVISION ST</b>	Street No. <b>252</b>

SECTION 3: SUBJECT LAND DESCRIPTION

Part No. On Sketch: PART 2

3.1 Lot Description		
Frontage: 12.4m	Depth: 50.3m	Area: 623.74 sq/m
Existing Use: FAMILY DWELLING		
Proposed Use: FAMILY DWELLING		
3.2 What is the current designation of the land in the Official Plan and the Regional Plan?		
Port Colborne Official Plan:		
Regional Policy Plan:		
3.3 What is the current zoning of the land (By-law 6575/30/18)?		
R1		

SECTION 4: LAND INFORMATION

4.1 Date and Subject Land was acquired by the Current Owner:	
MAY 1/24	
4.2 Are there any existing EASEMENTS OR RESTRICTIVE COVENANTS affecting the land?	
<input type="checkbox"/> Yes	If "Yes" describe the easement or covenant and its effect:
<input checked="" type="checkbox"/> No	
4.3 MORTGAGES, Charges & Other Encumbrances:	
List the name(s) and address(es) of any mortgages, charges, or other encumbrances in respect of the land.	
B2B BANK for N/A	
4.4 DATE OF CONSTRUCTION of all existing buildings and structures on the land:	
UNKNOWN	
4.5 Type of ACCESS	
<input type="checkbox"/> Provincial Highway	<input type="checkbox"/> Municipal Road maintained seasonally
<input type="checkbox"/> Regional Road	<input type="checkbox"/> Right-of-Way
<input checked="" type="checkbox"/> Municipal Road maintained all year	<input type="checkbox"/> Water Access
<input type="checkbox"/> Other Public Road	<input type="checkbox"/> Private Road
4.6 What type of WATER SUPPLY is proposed?	
<input checked="" type="checkbox"/> Publicly owned and operated piped water supply	
<input type="checkbox"/> Lake	
<input type="checkbox"/> Well (private or communal)	
<input type="checkbox"/> Other (specify)	
4.7 What type of SEWAGE DISPOSAL is proposed?	
<input checked="" type="checkbox"/> Publicly owned and operated sanitary sewage system	
<input type="checkbox"/> Septic system (private or communal)	
<input type="checkbox"/> Other (specify)	
4.8 What type of STORMWATER DISPOSAL is proposed?	
<input checked="" type="checkbox"/> Publicly owned and operated stormwater system	
<input type="checkbox"/> Other (specify)	
4.9 Has a Pre-Consultation application been filed for this proposal?	
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
If Yes, please indicate the meeting date:	



SECTION 5: NATURE & EXTENT OF RELIEF FROM THE ZONING BY-LAW

5.1 Nature and Extent of Relief from the Zoning By-law:

1. ~~FRONTAGE - 12.4 m~~ *fr*

1. FRONTAGE - 12.4 m

2. minimum FRONT YARD - 3 m

3. minimum INTERIOR SIDE YARD - 1.2m

4 - SIDE REAR GARAGE CLEARANCE - ~~0.9 m~~ 1.0 m

5.2 Why is it not possible to comply with the Zoning By-law?

- LOCATION OF EXISTING GARAGE STRUCTURE

o PROPOSED LOCATION OF NEW BUILT HOME

5.3 Does the structure(s) pertaining to the application for Minor Variance already exist?

☒ Yes *EXISTING ITEMS*

☒ No *NEW HOUSE ITEM*

5.4 If the answer to 5.3 is YES, has a building permit been issued?

☐ Yes

☒ No

If the answer is "Yes," please provide the following information:

File Number:

Decision:

SECTION 6: ALL EXISTING, PREVIOUS AND ADJACENT USE OF THE LAND

8.1 ALL EXISTING USE

☒ Residential

☐ Institutional

☐ Vacant

☐ Industrial

☐ Agricultural

☐ Other (specify):

☐ Commercial

☐ Parkland

8.2 What is the length of time the existing use(s) of the land have continued?

UNKNOWN

8.3 Are there any buildings or structures on the subject land?

☒ Yes

☐ No

If Yes, briefly describe and indicate their use.

GARAGE



8.4 Are any of these buildings designated under the Ontario Heritage Act?		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
8.5 Has the grading of the subject land been changed by adding earth or material? Has filling occurred on the subject land?		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
8.6 Has a gasoline station and/or automobile service station been located on the subject land or adjacent lands at any time?		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
8.7 Has there been petroleum or other fuel stored on the subject land or adjacent lands?		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
8.8 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
8.9 Have the lands or adjacent lands ever been used as an agricultural operation where pesticides have been applied to the lands?		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
8.10 Have the lands or adjacent lands ever been used as a weapon firing range?		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
8.11 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the boundary line of an operational / non-operational public or private landfill or dump?		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
8.12 If there are existing or previously existing buildings on the subject lands, are there any building materials remaining on site which are potentially hazardous to public health (e.g., asbestos, PCB's)?		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
8.13 If there has been industrial or commercial uses on the property, a previous use inventory is needed. Is a previous use inventory attached?		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
8.14 Is there reason to believe the subject lands may have been contaminated by existing or former uses on the site or adjacent sites?*		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
<p>If previous use of property is industrial or commercial or if the answer was <b>YES</b> to any of the above, please attach a previous use inventory showing all former uses of the land, or if applicable, the land(s) adjacent to the land.</p> <p>*Possible uses that can cause contamination include operation of electrical transformer stations, disposal of waste minerals, raw material storage, and residues left in containers, maintenance activities, and spills. Some commercial properties such as gasoline stations, automotive repair garages, and dry-cleaning plants have similar potential. Any industrial use can result in potential contamination. The longer a property is under industrial or similar use, the greater the potential for site contamination. Also, a series of different industrial or similar uses upon a site could potentially increase the number of chemicals which are present.</p>		

ACKNOWLEDGMENT CLAUSE

I hereby acknowledge that is my responsibility to ensure that I am in compliance with all applicable laws, regulations and standards pertaining to contaminated sites. I further acknowledge that the City of Port Colborne is not responsible for the identification and / or remediation of contaminated sites, and I agree, whether in (or as a result of) any action or proceeding for environmental clean-up of any damage or otherwise, I will not sue or make claim whatsoever against the City of Port Colborne, its officers, officials, employees or agents for or in respect of any loss, damage, injury or costs.

X 7/21/25  
Date

X   
Signature of Owner



NIAGARA PENINSULA CONSERVATION AUTHORITY

Pre-Screening Criteria

9.1 Is there land on the property identified in the Official Plan and / or Zoning By-law as “hazard lands”?		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
9.2 Is there a watercourse or municipal drain on the property or within 15 metres of the property?		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
9.3 Is the property located on or within 30 metres of the Lake Erie shoreline?		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
9.4 Is there a valley slope on the property?		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
9.5 Is there known localized flooding or a marsh / bog area on or within 30 metres of the property?		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
9.6 Is the property on a Regional Road?		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown

AUTHORIZATIONS

SIGNATURE OF APPLICANT(S)

X 7/21/25  
Date

X [Signature]  
Signature of Applicant(s)

Please note: If the applicant is not the owner of the subject land or there is more than one owner, written authorization of the owner(s) is required (Complete Form 1) indicating that the applicant is authorized to make application.

I/We FRENK GRASIC

Of the City/Town/Township of PORT COLBORNE

In the County/District/Regional Municipality of PORT COLBORNE NIAGARA

solemnly declare that all the statements contained in this application are true, and I/we make this solemn declaration conscientiously believing it to be true, and knowing that it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.

DECLARED before me at the City of Port Colborne  
In the Region of Niagara  
This 23rd day of July  
2025.

A Commissioner, etc. Taya Hope Taraba, a Commissioner, etc.,  
Province of Ontario, for the Corporation  
of the City of Port Colborne.  
Expires January 31, 2027.

TO BE SIGNED IN THE PRESENCE OF A  
COMMISSIONER FOR TAKING AFFIDAVITS  
X [Signature]  
FRENK GRASIC  
Signature of applicant(s), solicitor, or authorized

Personal information collected on this application will become part of a public record. Any questions regarding this collection should be directed to the City Clerk at 66 Charlotte Street, Port Colborne, Ontario L3K 3C8 (905) 835-2900 Ext. 106.



## POSTING OF PUBLIC HEARING SIGN

A public hearing sign is required to be posted by all applicants or agents on each property under application. A sign will be made available to you after review of your application, and you are required to post each sign in a prominent location on the subject property. The sign should be placed so that it is legible from the roadway.

Each sign must remain posted a minimum of 14 days prior to the hearing, until the day following the hearing. Should a sign go missing or become damaged or illegible please contact the Secretary-Treasurer as soon as possible to request a replacement sign. Failure to post the sign as required may result in deferral of you application(s).

**\*Please note that an affidavit must also be signed and commissioned in the presence of a Commissioner of Oaths. This can be done at City Hall AFTER the signs have been posted.\***

I/We FRENK LRSIC & MISTY IRVINE am/are the owner(s) of the land subject to this application for a Minor Variance and I/We agree to post the required sign(s) a minimum of 14 days prior to the hearing and will remain posted, and replaced, if necessary, until the day following the hearing.

X   
Signature of Owner/Agent

X 7/21/25  
Date

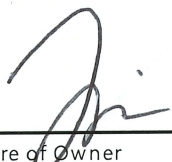
X   
Signature of Owner/Agent

X 7/21/25  
Date

## PERMISSION TO ENTER

I/We FRENK LRSIC & MISTY IRVINE am/are the owner(s) of the land subject to this application for a Minor Variance and I/We authorize the members of the Committee of Adjustment and the City of Port Colborne Planning Staff to enter onto the property for the purpose of evaluating the merits of the application(s).

**\*Please note that the Committee should not be contacted by members of the public. Any comments, questions or concerns should be addressed through the Planning Division.\***

X   
Signature of Owner

X 7/21/25  
Date

X   
Signature of Owner

X 7/21/25  
Date

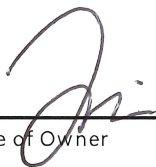
AUTHORIZATION FOR AGENT / SOLICITOR (IF APPLICABLE)

If the application is not the owner of the lane that is subject to this application for a Minor Variance, the authorization set out below must be completed by the owner(s). All registered owners must complete the authorization form for it to be valid.

Please Note: If the registered owner is a corporation, in addition to the signatures of the authorized signing officers, the corporate seal must be affixed.

Where the Owner is without a spouse, common-law or legally married, the Owner is required to sign only once. Where the spouse of the Owner is not an owner, the spouse is required to sign. Spouse shall include a common-law spouse as defined within the *Family Law Reform Act*.

I/We \_\_\_\_\_ am/are the owner(s) of the land that is subject to this application for a Minor Variance and I/We hereby authorize as my/our agent for the purposes of submitting an application(s) to the Committee of Adjustment for a Minor Variance.

X  \_\_\_\_\_  
Signature of Owner

X 7/21/25 \_\_\_\_\_  
Date

X  \_\_\_\_\_  
Signature of Owner

X 7/21/25 \_\_\_\_\_  
Date

X \_\_\_\_\_  
Signature of Agent

X \_\_\_\_\_  
Date



## SUGGESTION TO THE APPLICANT

Notice of your application is required for several agencies. All written responses will be considered before reaching a decision on your application.

Although you are under no obligation to do so, we suggest that you discuss your intentions with the appropriate agencies from the list below, before submitting an application. This pre-consultation could provide you with information about the City of Port Colborne Official Plan, the minimum requirements and permitted uses of Zoning By-law 6575/30/18, the Regional Policy Plan, the concerns of various Provincial Ministries, and other relevant information which may have a direct effect upon the final decision on your application.

1. Port Colborne Planning and Development Department  
66 Charlotte Street, Port Colborne, Ontario L3K 3C8  
General Planning Department  
(905) 835-2900, Ext. 286  
Information on the Port Colborne Official Plan and Zoning Bylaw
2. Port Colborne Planning and Development Department  
66 Charlotte Street, Port Colborne, Ontario L3K 3C8  
Engineering Technologist  
(905) 835-2900, Ext. 226  
Information on Servicing, Lot Grading and Drainage
3. Port Colborne Building Division  
66 Charlotte Street, Port Colborne, Ontario L3K 3C8  
Building Clerk  
(905) 835-2900, Ext 229  
Information about the Building Code
4. Region of Niagara Public Works Department  
Planning and Development Department  
1815 Sir Isaac Brock Way, Thorold, Ontario L2V 4T7  
(905) 980-6000, Ext. 3727  
Information about the Regional Policy Plan, Agriculture, Public Works & Regional Health, and for concerns regarding Provincial Policy and Ministry responsibilities
5. The Niagara Peninsula Conservation Authority  
250 Thorold Road West, Welland, Ontario L3C 3W2  
Watershed Planner  
(905) 788-3135, Ext 272  
For information about lands which may be zoned as "Hazard" in the local zoning by law, lands adjacent to watercourses, Lake Erie or flood plains
6. Ministry of Transportation of Ontario  
Corridor Management Section  
159 Sir William Hearst Ave, 7<sup>th</sup> Floor, Toronto, Ontario M3M 1J8  
For information about sight plan applications for lands fronting onto provincial highways
7. Ministry of Transportation of Ontario  
Corridor Management Section  
1201 Wilson Avenue, Bldg D, 7<sup>th</sup> Floor, Downsview, ON, M3M 1J8  
1-866-636-0663  
For information about official plan amendments, consents, re-zonings, and other inquiries for lands fronting onto provincial highways
8. Ministry of Municipal Affairs and Housing. *Provincial Policy Statement* (PPS) available for download (On-line) at: <http://www.mah.gov.on.ca>  
Under "Your Ministry" – Land Use Planning – Provincial Policy Statement







## PORT COLBORNE

DEVELOPMENT AND LEGISLATIVE SERVICES

## CONSENT APPLICATION THE CITY OF PORT COLBORNE

The Planning Act – Section 53

RECEIVED

AUG 23 2025

For Office Use Only

Date Received: \_\_\_\_\_

Date of Completion: \_\_\_\_\_

Application Complete: ☐ Yes ☐ No

### SUBMISSION OF APPLICATION

Completed applications can be sent to:

City of Port Colborne  
Taya Taraba  
Secretary Treasurer of the Committee of Adjustment  
City Hall  
66 Charlotte Street  
Port Colborne, Ontario L3K 3C8

Telephone: 1-905-835-2900 ext. 204  
Fax: 1-905-835-2939  
Email: taya.taraba@portcolborne.ca

### 2025 APPLICATION FEES

Consent (New Lot)	\$2,900	Changes to Consent Conditions	\$750
Easement	\$1,850	Final Certification Fee	\$400
Lot Addition / Boundary Adjustment	\$1,850	Validation of Title	\$1,500

### COMPLETENESS OF APPLICATION

A complete application includes all required forms, fees, and applicable sketches, as well as any additional information that may be identified by the Secretary-Treasurer in accordance with the provisions under *the Planning Act, R.S.O. 1990, c.P. 13*, as amended.

#### To be considered complete, submitted applications must include:

- One fully completed application for consent signed by the applicant(s) and/or authorized agent and properly witnessed by a Commissioner for the taking of affidavits.
- A letter of authorization from the property owner, if applicable.
- **Two (2) copies** of a sketch prepared by a licensed Land Surveyor, reduced to legal size.
- Payment of the appropriate fee submitted at the time of application through cash, credit, debit, or cheque payable to the City of Port Colborne.
- Payment of the appropriate Regional Review & Approval fee(s) if required by the Region, submitted at the time of the preliminary review. Payment can be submitted to the City of Port Colborne or to the Niagara Region. If payment is submitted to the Region directly, please submit the receipt to the City of Port Colborne. Failure to pay the Region's fee may result in an incomplete application. The Region's fees are available on its website, [https://www.niagararegion.ca/business/fpr/forms\\_fees.aspx](https://www.niagararegion.ca/business/fpr/forms_fees.aspx)
- Payment of the appropriate NPCA fee, if required, submitted at the time of the preliminary review. Payment can be submitted to the City of Port Colborne or to the NPCA. If payment is submitted to the NPCA directly, please submit the receipt to the City of Port Colborne. Failure to pay the NPCA's fee may result in an incomplete application.

**\*Note:** Additional information may be required once a full review has been completed by planning staff. This may prevent deferral of your application. \*



DRAWING REQUIREMENTS

Please submit two copies of each separate plan, reduced to legal size, along with your completed application. Ensure that all the information below is included in the plan(s). The sketch must be prepared, signed, and dated by a licensed Ontario Land Surveyor.

- 1. As provided for in Section 14 of Ontario Regulation 197/96, as amended, and as required by this Committee of Adjustment, an application must be accompanied by **two (2)** copies of a preliminary drawing prepared, signed and dated by an Ontario Land Surveyor.
- 2. One (1) copy of each separate type of plan reduced to legal size.
- 3. One (1) copy of an Ontario Land Surveyor's Plan or Reference Plan to describe the subject lands.
- 4. One (1) copy of a Registered Deed including full legal description of the subject lands.

PROCEDURE FOR PROCESSING CONSENT APPLICATIONS

Once the Secretary-Treasurer has received an application, the application will be circulated to external agencies for up to 10 days to determine whether additional information and/or fees are required. Once comments from these agencies have been received, the Secretary-Treasurer will inform the applicant of any additional information and/or fees required by these agencies (ie. Niagara Region, Niagara Peninsula Conservation Authority). If applicable, the applicant must submit this additional information and/or pay the additional fees for their application to be deemed complete. Once the application is deemed complete, a hearing date will be confirmed in writing by the Secretary-Treasurer.

Prior to the hearing, members of the Committee may choose to conduct a site visit and/or contact the applicants. **Please note that the Committee should not be contacted by members of the public.** Any comments, questions, or concerns should be addressed through the Planning Division.

Following the hearing, the applicant/agent/solicitor will be notified of the Committee's decision through a written Notice of Decision. In addition, any other person or agency who filed a written request for the Committee's decision will be sent a copy.

Any applicant objecting to the decision of the Committee, or the condition(s) imposed by the Committee may appeal either the decision and/or the conditions of consent to the Local Planning Appeal Tribunal within 20 days after the notice of decision has been given. The notice of appeal, together with written reasons supporting the appeal and the fee, by certified cheque or money order payable to the Minister of Finance, must be filed with the Secretary-Treasurer, who in turn, will forward the appeal to the Local Planning Appeal Tribunal. The fee is \$300.00 for the first application to be appealed and \$25.00 for each additional related consent appeal.

Prior to final consent being issued, written proof must be submitted to the Secretary-Treasurer to the effect that any conditions imposed by the Committee in granting consent have been fulfilled. According to the *Planning Act*, if the consent granted by the Committee is conditional, the conditions must be fulfilled within two years of the giving of the notice of decision. Failure to do so will cause the consent to lapse.

NIAGARA PENINSULA CONSERVATION AUTHORITY REVIEW

Fees which are payable directly to Authority vary depending on the location and on the type of application. For land: abutting or within 15 meters of a water course; on or within 30 meters of the Lake Erie shoreline; on land identified as "Hazard Land" or "Environmental Protection" by the Port Colborne Official Plan or Zoning Bylaw; or within a groundwater recharge / discharge area, aquifer or headwater on the property or within 30 meters of the property, the Niagara Peninsula Conservation Authority will charge an additional Plan Review Fee. These fees are provided on the Niagara Peninsula Conservation Authority's website.

I acknowledge that I have read, understand, and agree to the terms outlined above.		
Name: FRANK GRSTIC	Date: 7/21/25	Initials: JF





## SECTION 1 : CONTACT INFORMATION

<b>1.1 Registered Owner (s):</b>	
Name: <i>FRANK GRISIC</i>	
Mailing Address: <i>252 DIVISION ST</i>	
City: <i>PORT COLBORNE</i>	Province: <i>ON</i>
Postal Code: <i>L3K 3C1</i>	Telephone: <i>289 673 2728</i>
Fax:	Email: <i>FRANKGRISIC@GMAIL.COM</i>
<b>1.2 Owner's SOLICITOR (if applicable)</b>	
Name:	
Mailing Address:	
City:	Province:
Postal Code:	Telephone:
Fax:	Email:
<b>1.3 Owner's Authorized AGENT (if applicable)</b>	
Name:	
Mailing Address:	
City:	Province:
Postal Code:	Telephone:
Fax:	Email:
<b>1.4 Owner's ONTARIO LAND SURVEYOR (if applicable)</b>	
Name:	
Mailing Address:	
City:	Province:
Postal Code:	Telephone:
Fax:	Email:
<b>1.5 All communications should be sent to the:</b>	
<input checked="" type="checkbox"/> Owner <input type="checkbox"/> Solicitor <input type="checkbox"/> Agent	

## SECTION 2: LOCATION OF SUBJECT LAND

Former Municipality:	
Concession No.	Lot(s): <i>2</i>
Registered Plan No. <i>878</i>	Lot(s): <i>3</i>
Reference Plan No.	Part(s):
Name of Street: <i>DIVISION ST</i>	Street No. <i>252</i>

SECTION 3: PROPOSAL DESCRIPTION

3.1 Type of proposed transaction: (Check appropriate space(s))		
<input checked="" type="checkbox"/> Creation of New Lot	<input type="checkbox"/> Lease	<input type="checkbox"/> Partial Discharge or Mortgage
<input type="checkbox"/> Addition to lot	<input type="checkbox"/> Disposal of Surplus Farm Dwelling	<input type="checkbox"/> Right-of-Way
<input type="checkbox"/> Mortgage or Charge	<input type="checkbox"/> Farm Retirement Lot	<input type="checkbox"/> Easement
Reason for proposed transaction:		
BUILD NEW FAMILY DWELLING		
3.2 If a lot addition, identify the lands to which the parcel will be added:		
3.3 Name of person(s), if known, to whom land or interest in land is intended to be conveyed, leased, or mortgaged:		
FRENK LARSIC & MISTY IRVINE		

SECTION 4: SUBJECT PARCEL INFORMATION

Part No. On Sketch: PART 2

DESCRIPTION OF SUBJECT PARCEL (in metric units)		
Frontage: 12.4 m	Depth: 50.3 m	Area: 623.74 m/sq
Existing Use: FAMILY DWELLING		
Proposed Use: FAMILY DWELLING		

SECTION 5: RETAINED PARCEL INFORMATION

Part No. On Sketch: PART 1

DESCRIPTION OF PARCEL TO BE RETAINED (in metric units)		
Frontage: 24.18 m	Depth: 50.30 m	Area: 1216 sq/m
Existing Use: FAMILY DWELLING		
Proposed Use: FAMILY DWELLING		

SECTION 6: SUBJECT LAND INFORMATION

6.1 What is the current designation of the land in the Official Plan and the Regional Plan?	
Port Colborne Official Plan: URBAN RESIDENTIAL	
Regional Policy Plan: DELINEATED BUILT-UP AREA	
6.2 What is the Zoning of the land (By-law 6575/30/18)?	
R1	
6.3 Date and Subject Land was acquired by the Current Owner:	
MAY 1/2024	
6.4 Are there any existing EASEMENTS OR RESTRICTIVE COVENANTS affecting the land?	
<input type="checkbox"/> Yes	If "Yes" describe the easement or covenant and its effect:
<input checked="" type="checkbox"/> No	



6.5 MORTGAGES, Charges & Other Encumbrances:		
List the name(s) and address(es) of any mortgages, charges, or other encumbrances in respect of the land.		
MORTGAGE @ B2B BANK		
6.6 Type of ACCESS		
<input type="checkbox"/> Provincial Highway	<input type="checkbox"/> Water Access	<input type="checkbox"/> Private Road
<input type="checkbox"/> Regional Road	<input checked="" type="checkbox"/> Municipal Road maintained <b>all year</b>	<input type="checkbox"/> Other Public Road
<input type="checkbox"/> Right-of-Way	<input type="checkbox"/> Municipal Road maintained <b>seasonally</b>	
6.7 What type of WATER SUPPLY is proposed?		
<input checked="" type="checkbox"/> Publicly owned and operated piped water supply		
<input type="checkbox"/> Lake		
<input type="checkbox"/> Well (private or communal)		
<input type="checkbox"/> Other (specify):		
6.8 What type of SEWAGE DISPOSAL is proposed?		
<input checked="" type="checkbox"/> Publicly owned and operated sanitary sewage system		
<input type="checkbox"/> Septic system (private or communal)		
<input type="checkbox"/> Other (specify):		
6.9 What type of STORMWATER DISPOSAL is proposed?		
<input checked="" type="checkbox"/> Publicly owned and operated stormwater system		
<input type="checkbox"/> Other (specify):		

SECTION 7

7.1 Has the land ever been the subject of an application for approval of a PLAN OF SUBDIVISION or a CONSENT?		
<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> Unknown

If the answer is “Yes,” please provide the following information:

File Number:
Decision:

SECTION 8: ALL EXISTING, PREVIOUS AND ADJACENT USE OF THE LAND

8.1 ALL EXISTING USE		
<input checked="" type="checkbox"/> Residential	<input type="checkbox"/> Institutional	<input type="checkbox"/> Vacant
<input type="checkbox"/> Industrial	<input type="checkbox"/> Agricultural	<input type="checkbox"/> Other (specify):
<input type="checkbox"/> Commercial	<input type="checkbox"/> Parkland	
8.2 What is the length of time the existing use(s) of the land have continued?		
UNKNOWN		
8.3 Are there any buildings or structures on the subject land?		
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		
If Yes, briefly describe and indicate their use. GARAGE - PERSONAL		



8.4 Are any of these buildings designated under the Ontario Heritage Act?		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
8.5 Has the grading of the subject land been changed by adding earth or material? Has filling occurred on the subject land?		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
8.6 Has a gasoline station and/or automobile service station been located on the subject land or adjacent lands at any time?		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
8.7 Has there been petroleum or other fuel stored on the subject land or adjacent lands?		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
8.8 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
8.9 Have the lands or adjacent lands ever been used as an agricultural operation where pesticides have been applied to the lands?		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
8.10 Have the lands or adjacent lands ever been used as a weapon firing range?		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
8.11 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the boundary line of an operational / non-operational public or private landfill or dump?		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
8.12 If there are existing or previously existing buildings on the subject lands, are there any building materials remaining on site which are potentially hazardous to public health (e.g., asbestos, PCB's)?		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
8.13 If there has been industrial or commercial uses on the property, a previous use inventory is needed. Is a previous use inventory attached?		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
8.14 Is there reason to believe the subject lands may have been contaminated by existing or former uses on the site or adjacent sites?*		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
<p>If previous use of property is industrial or commercial or if the answer was <b>YES</b> to any of the above, please attach a previous use inventory showing all former uses of the land, or if applicable, the land(s) adjacent to the land.</p> <p>*Possible uses that can cause contamination include operation of electrical transformer stations, disposal of waste minerals, raw material storage, and residues left in containers, maintenance activities, and spills. Some commercial properties such as gasoline stations, automotive repair garages, and dry-cleaning plants have similar potential. Any industrial use can result in potential contamination. The longer a property is under industrial or similar use, the greater the potential for site contamination. Also, a series of different industrial or similar uses upon a site could potentially increase the number of chemicals which are present.</p>		

ACKNOWLEDGMENT CLAUSE

I hereby acknowledge that is my responsibility to ensure that I am in compliance with all applicable laws, regulations and standards pertaining to contaminated sites. I further acknowledge that the City of Port Colborne is not responsible for the identification and / or remediation of contaminated sites, and I agree, whether in (or as a result of) any action or proceeding for environmental clean-up of any damage or otherwise, I will not sue or make claim whatsoever against the City of Port Colborne, its officers, officials, employees or agents for or in respect of any loss, damage, injury or costs.

X

7/21/25

Date

X



Signature of Owner



NIAGARA PENINSULA CONSERVATION AUTHORITY

Pre-Screening Criteria

9.1 Is there land on the property identified in the Official Plan and / or Zoning By-law as “hazard lands”?		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
9.2 Is there a watercourse or municipal drain on the property or within 15 metres of the property?		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
9.3 Is the property located on or within 30 metres of the Lake Erie shoreline?		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
9.4 Is there a valley slope on the property?		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
9.5 Is there known localized flooding or a marsh / bog area on or within 30 metres of the property?		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
9.6 Is the property on a Regional Road?		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown

AUTHORIZATIONS

SIGNATURE OF APPLICANT(S)

X 7/21/25  
Date

X [Signature]  
Signature of Applicant(s)

Please note: If the applicant is not the owner of the subject land or there is more than one owner, written authorization of the owner(s) is required (Complete Form 1) indicating that the applicant is authorized to make application.

I/We FRENK GRASIC

Of the City/Town/Township of PORT COLBORNE

In the County/District/Regional Municipality of PORT COLBORNE NIAGARA

solemnly declare that all the statements contained in this application are true, and I/we make this solemn declaration conscientiously believing it to be true, and knowing that it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.

DECLARED before me at the  
City of Port Colborne  
In the Region of Niagara  
This 23rd day of July  
2025.

A Commissioner, etc. Jaja Hope Taraba, a Commissioner, etc.,  
Province of Ontario, for the Corporation  
of the City of Port Colborne.  
Expires January 31, 2027.

TO BE SIGNED IN THE PRESENCE OF A  
COMMISSIONER FOR TAKING AFFIDAVITS  
X [Signature]  
FRENK GRASIC  
Signature of applicant(s), solicitor, or authorized

Personal information collected on this application will become part of a public record. Any questions regarding this collection should be directed to the City Clerk at 66 Charlotte Street, Port Colborne, Ontario L3K 3C8 (905) 835-2900 Ext. 106.

X M. Adrine  
Signature of Owner

X 7/21/25  
Date

**AUTHORIZATION FOR AGENT / SOLICITOR (IF APPLICABLE)**

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Where the Owner is without a spouse, common-law or legally married, the Owner is required to sign once. Where the spouse of the Owner is not an owner, the spouse is required to sign. Spouse shall include a common-law spouse as defined within the *Family Law Reform Act*.

I/We FRENK GRASIC am/are the owner(s) of the land that is subject to this application for Consent and I/We hereby authorize \_\_\_\_\_ as my/our agent for the purposes of submitting an application(s) to the Committee of Adjustment for a Consent.

X [Signature]  
Signature of Owner

X 7/21/25  
Date

X M. Adrine  
Signature of Owner

X 7/21/25  
Date

X \_\_\_\_\_  
Signature of Agent

X \_\_\_\_\_  
Date



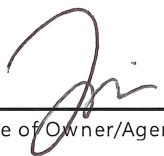
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**\*Please note that an affidavit must also be signed and commissioned in the presence of a Commissioner of Oaths. This can be done at City Hall AFTER the signs have been posted.\***

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X   
Signature of Owner/Agent

X 7/21/25  
Date

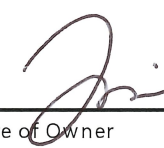
X   
Signature of Owner/Agent

X 7/21/25  
Date

PERMISSION TO ENTER

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**\*Please note that the Committee should not be contacted by members of the public. Any comments, questions or concerns should be addressed through the Planning Division.\***

X   
Signature of Owner

X 7/21/25  
Date

SUGGESTION TO THE APPLICANT

- Notice of your application is required for several agencies. All written responses will be a great asset to you in testing a decision on your application.
- Although you are under no obligation to do so, we suggest that you discuss your intentions with the appropriate agencies from the list below, before submitting an application. This pre-submission activity provides you with information about the City of Port Colborne Official Plan, its amendments and the permitted uses of zoning By-law 8575/2018, the Regional Policy Plan, the concept of the Provincial Policy Statement and other relevant information which may have a direct effect upon the final decision on your application.
1. Port Colborne Planning and Development Department  
65 Charlotte Street, Port Colborne, Ontario L3K 3C8  
General Planning Department  
(905) 835-2500, Ext. 250  
Information on the Port Colborne Official Plan and Zoning By-law
  2. Port Colborne Planning and Development Department  
65 Charlotte Street, Port Colborne, Ontario L3K 3C8  
Engineering Department  
(905) 835-2500, Ext. 250  
Information on Servicing, Lot Grading and Driveways
  3. Port Colborne Building Division  
65 Charlotte Street, Port Colborne, Ontario L3K 3C8  
Building Clerk  
(905) 835-2500, Ext. 250  
Information about the Building Code
  4. Region of Niagara Public Works Department  
Planning and Development Department  
1518 St. David Street West, Thorold, Ontario L2V 4T7  
(905) 980-6000, Ext. 3127  
Information about the Regional Policy Plan, Agriculture, Public Works & Regional Health, and for concerns regarding Provincial Policy and Ministry responsibilities
  5. The Niagara Peninsula Conservation Authority  
250 Thorold Road West, Welland, Ontario L3C 9W2  
Watershed Planner  
(905) 885-2500, Ext. 250  
For information on wetlands which may be subject to a wetland zoning by-law, contact the Niagara Conservation Authority at (905) 885-2500, Ext. 250
  6. Ministry of Transportation of Ontario  
County Management Section  
100 St. William Street, 7th Floor, Toronto, Ontario M5M 1A2  
For information and to sign plan applications for lands fronting onto provincial highways
  7. Ministry of Transportation of Ontario  
County Management Section  
1201 Wilson Avenue, 5th Floor, Downsview, ON M3M 1J8  
(416) 636-0700  
For information about official plan amendments, concept drawings, and other information for lands fronting onto provincial highways
  8. Ministry of Municipal Affairs and Housing, Provincial Policy Statement (PPS) available for download

## SUGGESTION TO THE APPLICANT

Notice of your application is required for several agencies. All written responses will be considered before reaching a decision on your application.

Although you are under no obligation to do so, we suggest that you discuss your intentions with the appropriate agencies from the list below, before submitting an application. This pre-consultation could provide you with information about the City of Port Colborne Official Plan, the minimum requirements and permitted uses of Zoning By-law 6575/30/18, the Regional Policy Plan, the concerns of various Provincial Ministries, and other relevant information which may have a direct effect upon the final decision on your application.

1. Port Colborne Planning and Development Department  
66 Charlotte Street, Port Colborne, Ontario L3K 3C8  
General Planning Department  
(905) 835-2900, Ext. 286  
Information on the Port Colborne Official Plan and Zoning Bylaw
2. Port Colborne Planning and Development Department  
66 Charlotte Street, Port Colborne, Ontario L3K 3C8  
Engineering Technologist  
(905) 835-2900, Ext. 226  
Information on Servicing, Lot Grading and Drainage
3. Port Colborne Building Division  
66 Charlotte Street, Port Colborne, Ontario L3K 3C8  
Building Clerk  
(905) 835-2900, Ext 229  
Information about the Building Code
4. Region of Niagara Public Works Department  
Planning and Development Department  
1815 Sir Isaac Brock Way, Thorold, Ontario L2V 4T7  
(905) 980-6000, Ext. 3727  
Information about the Regional Policy Plan, Agriculture, Public Works & Regional Health, and for concerns regarding Provincial Policy and Ministry responsibilities
5. The Niagara Peninsula Conservation Authority  
250 Thorold Road West, Welland, Ontario L3C 3W2  
Watershed Planner  
(905) 788-3135, Ext 272  
For information about lands which may be zoned as "Hazard" in the local zoning by law, lands adjacent to watercourses, Lake Erie or flood plains
6. Ministry of Transportation of Ontario  
Corridor Management Section  
159 Sir William Hearst Ave, 7<sup>th</sup> Floor, Toronto, Ontario M3M 1J8  
For information about sight plan applications for lands fronting onto provincial highways
7. Ministry of Transportation of Ontario  
Corridor Management Section  
1201 Wilson Avenue, Bldg D, 7<sup>th</sup> Floor, Downsview, ON, M3M 1J8  
1-866-636-0663  
For information about official plan amendments, consents, re-zonings, and other inquiries for lands fronting onto provincial highways
8. Ministry of Municipal Affairs and Housing. *Provincial Policy Statement (PPS)* available for download



**To:**

Committee of Adjustment  
City of Port Colborne  
Planning and Development Department  
66 Charlotte Street  
Port Colborne, ON L3K 3C8  
Email: taya.taraba@portcolborne.ca

**Re: Opposition to Minor Variance and Severance Application – 252 Division Street**

Dear Members of the Committee,

I am writing to express my **strong opposition** to the proposed severance and development on the above-mentioned property, which seeks multiple exceptions to the City of Port Colborne's Zoning By-law 6575/30/18 and Ontario Regulation 337/24. [\[O. Reg. 33...GIONAL ...\]](#)

The requested variances include:

1. Reduction of the **minimum interior side yard setback** from 1.5M to **1.1M** under A18-25-PC
2. Reduction of the minimum interior side yard set back from 1.5M to **1.2M** under A19-25-PC.
3. Reduction of the **minimum lot frontage** from 15M to **12.4M**.
4. Reduction of the **minimum front yard setback** from 6.5M to **3M**.

These proposed changes are **not minor in nature**, and they fail to meet the four tests under **Section 45(1) of the Planning Act**, which require that a variance must:

- Be **minor**;
- Be **desirable** for the appropriate development or use of the land;
- Maintain the **general intent and purpose of the Zoning By-law**;
- Maintain the **general intent and purpose of the Official Plan**.

## **1. Impact on Neighbourhood Character**

The proposed reductions will result in **overcrowding**, reduced **privacy**, and diminished **streetscape aesthetics**. The existing zoning standards are in place to preserve the character and livability of residential neighbourhoods. Allowing these variances would set a **dangerous precedent** for future developments that erode these protections.

## **2. Loss of Greenspace and Airflow**

Reduced setbacks compromise **air circulation, natural light, and landscaping opportunities**. These elements are essential for maintaining healthy and attractive residential environments.

### 3. Traffic and Safety Concerns

A reduced front yard setback of 3M may interfere with **sightlines, driveway safety, and pedestrian visibility**, especially in areas with children and seniors. This lot is located 150M from St Patrick's Catholic Elementary School and 700M from Steele Street Public School and is a common route for school children.

### 4. Non-Conformance with Zoning Intent

The zoning by-law clearly outlines minimum standards for lot frontage (15m), front yard setback (6.5m), and side yard setbacks (1.5m) to ensure **adequate separation, privacy, and neighbour compatibility**. The proposed build does not conform to these standards and undermines the **intent of the Official Plan**. [\[O. Reg. 33...GIONAL ...\]](#) [\[The City o...n Approved\]](#)

### 5. Community Impact

This proposal has generated concern among residents who feel that the development will negatively affect **property values, quality of life, and neighbourhood cohesion**.

---

### Conclusion:

I respectfully urge the Committee to **reject this application** and uphold the integrity of the City's zoning by-laws and planning principles. The proposed severance and variances are **not appropriate** for the site and do not reflect the values or expectations of the surrounding community.

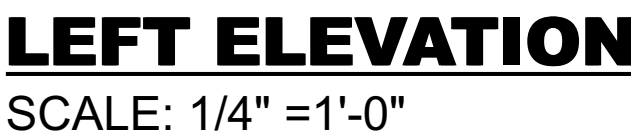
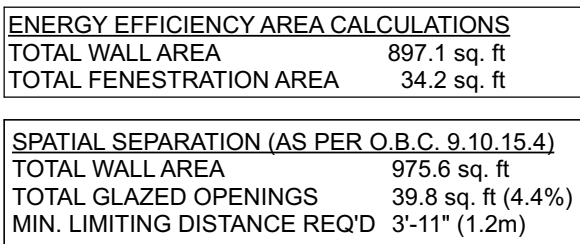
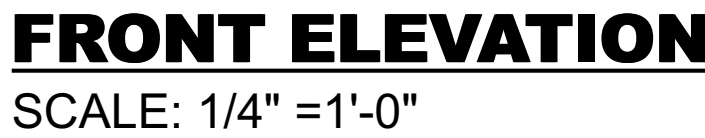
Thank you for your time and consideration.

Sincerely,  
Kerri Ann Danys



September 23<sup>rd</sup>, 2025





CorriveauHomeDesign.com  
4065 STANLEY AVENUE, UNIT 2  
NIAGARA FALLS, ON | L2E 4Z2 | (905) 358-5535  
Email : CorrCADD@Gmail.com

PROJECT:

**PROPOSED TWO STOREY  
GRSIC RESIDENCE**

PART 2 OF 252 DIVISION STREET  
PORT COLBORNE, ONTARIO

**NOTES:**

**ALL CONSTRUCTION SHALL CONFORM TO PART 9 OF  
THE 2024 ONTARIO BUILDING CODE  
(UP TO AND INCLUDING ALL CURRENT AMENDMENTS)**

ALL CONTRACTORS AND OR TRADES SHALL VERIFY ALL DIMENSIONS,  
NOTES, SIZE AND REPORT ANY DISCREPANCIES PRIOR TO COMMENCEMENT  
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- 9 - ROOF LAYOUT & GIRDER TRUSS LOCATIONS TO BE VERIFIED BY ROOF TRUSS MANUFACTURER PRIOR TO MANUFACTURING.

## DRAWING LIST

<b>A1</b>	FRONT & LEFT ELEVATIONS EXTERIOR 3D PERSPECTIVES
<b>A2</b>	REAR & RIGHT ELEVATIONS EXTERIOR 3D PERSPECTIVES
<b>A3</b>	LOWER FLOOR PLAN MAIN FLOOR PLAN
<b>A4</b>	UPPER FLOOR PLAN ROOF PLAN
<b>A5</b>	CROSS SECTION TYPICAL WALL SECTIONS
<b>A6</b>	TYPICAL DETAILS
<b>A7</b>	NOTE SCHEDULE COLUMN SCHEDULE WALL SCHEDULE
<b>A8</b>	GENERAL NOTES AND SPECS LIST OF ABBREVIATIONS CONSTRUCTION SCHEDULES

NO.	DATE:	REVISION:

CERTIFICATION:

<p><b>PRICING DRAWINGS</b></p> <p><b>NOT TO BE USED</b></p> <p><b>FOR CONSTRUCTION</b></p>
--

DR. BY: JUSTIN NEWMAN	CH. BY: MIKE CORRIVEAU
DATE: 2025-08-18	JOB #: 2025-42

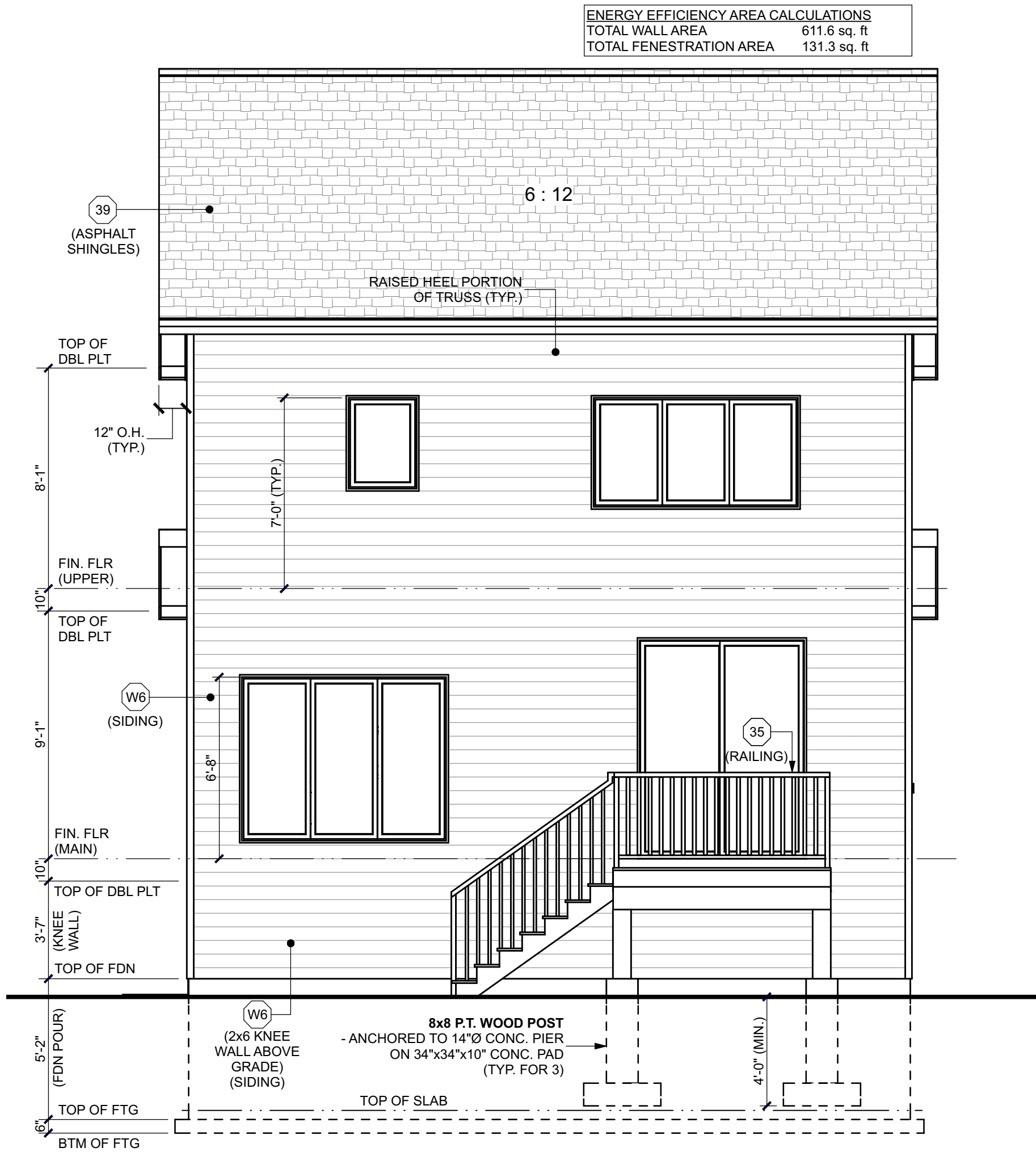
SCALE: AS SHOWN

**TITLE:**

**FRONT & LEFT  
ELEVATIONS,  
EXTERIOR 3D  
PERSPECTIVES**

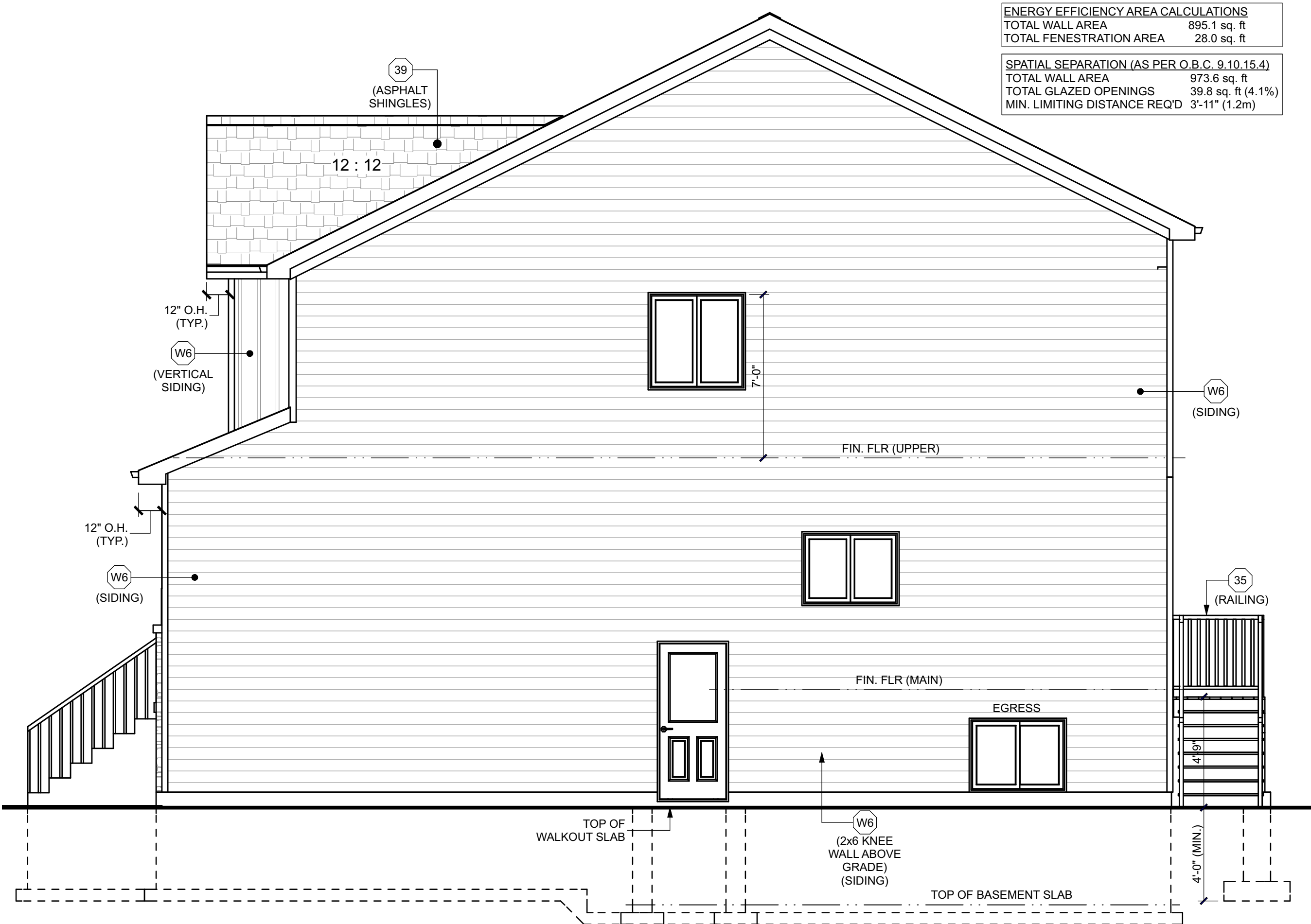
SHEET No.	
<b>1 OF 8</b>	<b>A1</b>





**REAR ELEVATION**  
SCALE: 1/4" =1'-0"

3D COMING SOON



**RIGHT ELEVATION**  
SCALE: 1/4" =1'-0"

**CORRIVEAU CADD**

CorriveauHomeDesign.com  
4065 STANLEY AVENUE, UNIT 2  
NIAGARA FALLS, ON | L2E 4Z2 | (905) 358-5535  
Email : CorrCADD@Gmail.com

PROJECT:  
**PROPOSED TWO STOREY  
GRSIC RESIDENCE**  
PART 2 OF 252 DIVISION STREET  
PORT COLBORNE, ONTARIO

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DR. BY: <b>JUSTIN NEWMAN</b>	CH. BY: <b>MIKE CORRIVEAU</b>
DATE: <b>2025-08-18</b>	JOB #: <b>2025-42</b>

SCALE:  
**AS SHOWN**

TITLE:  
**REAR & RIGHT  
ELEVATIONS,  
EXTERIOR 3D  
PERSPECTIVES**

SHEET No.  
**2 OF 8**  
**A2**



PROJECT:  
**PROPOSED TWO STOREY  
GRSIC RESIDENCE**  
PART 2 OF 252 DIVISION STREET  
PORT COLBORNE, ONTARIO

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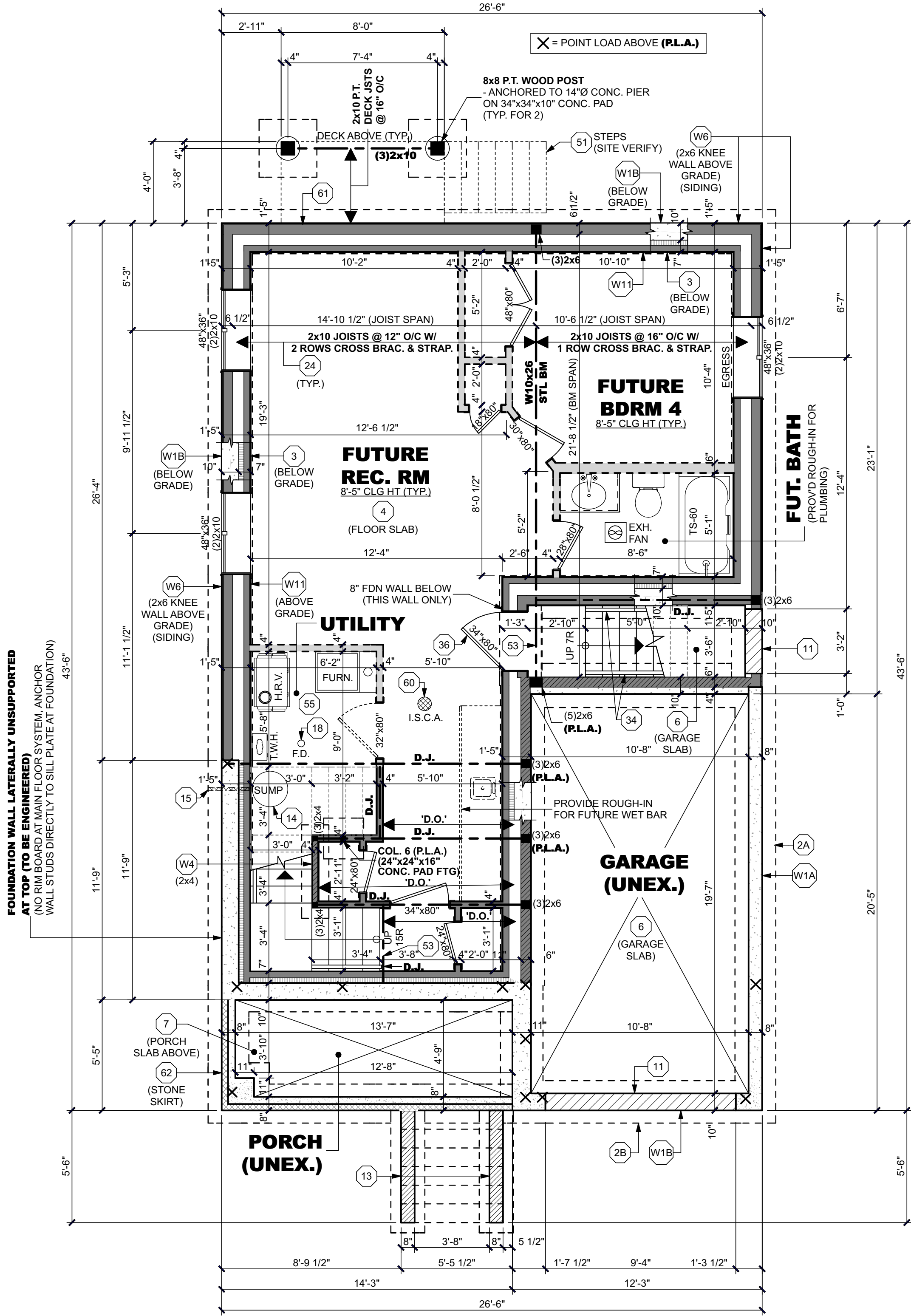
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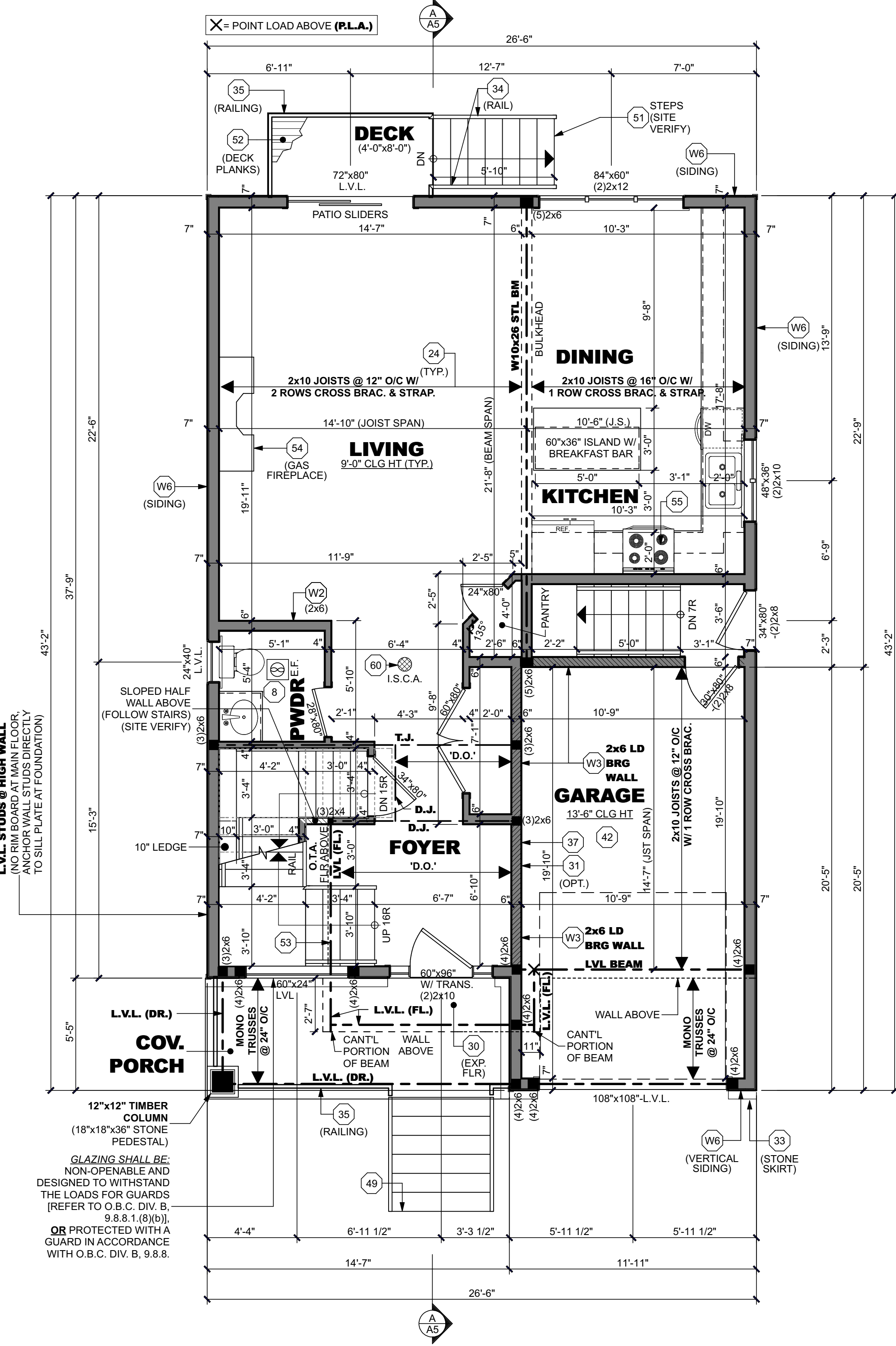
DR. BY: <b>JUSTIN NEWMAN</b>	CH. BY: <b>MIKE CORRIVEAU</b>
DATE: <b>2025-08-18</b>	JOB #: <b>2025-42</b>

SCALE:  
**AS SHOWN**

TITLE:  
**LOWER FLOOR PLAN,  
MAIN FLOOR PLAN**



**LOWER FLOOR PLAN**  
(3'-7" KNEE WALL W/ 5'-1" FDN POUR)  
SCALE: 1/4" = 1'-0"



**MAIN FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



PROJECT:  
**PROPOSED TWO STOREY  
GRSIC RESIDENCE**  
PART 2 OF 252 DIVISION STREET  
PORT COLBORNE, ONTARIO

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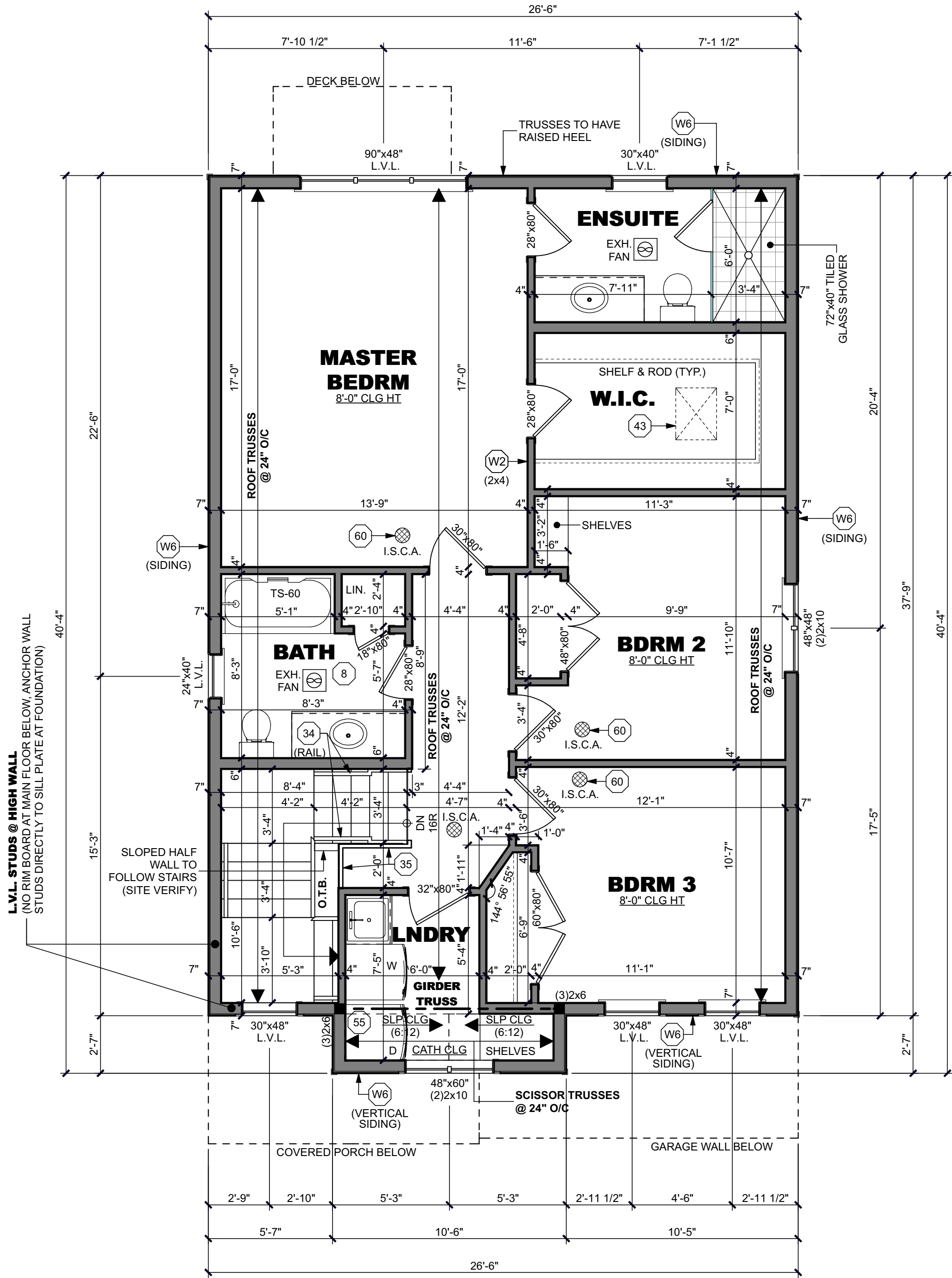
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DATE:	<b>2025-08-18</b>	JOB #:	<b>2025-42</b>

SCALE:  
**AS SHOWN**

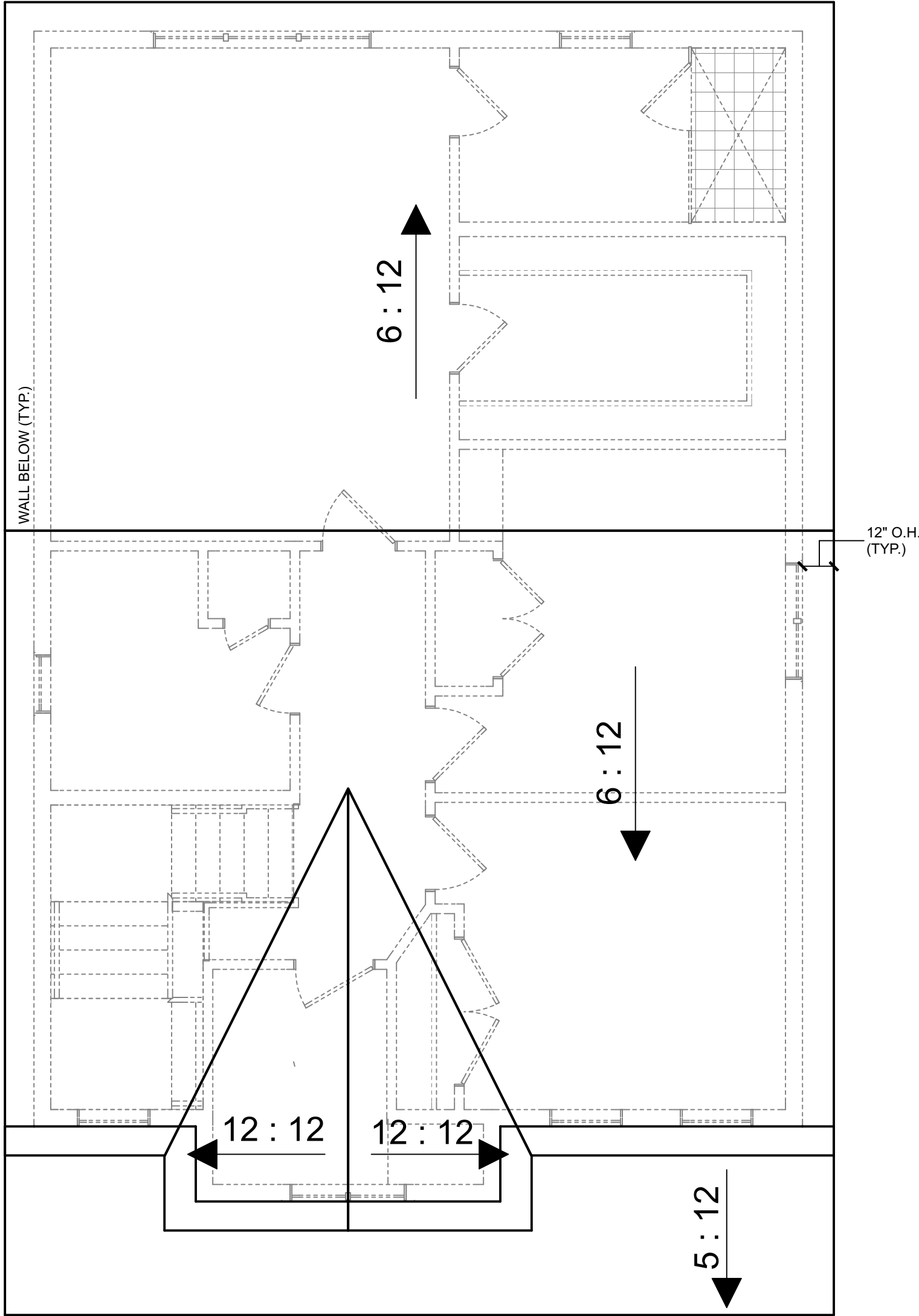
TITLE:  
**UPPER FLOOR PLAN,  
ROOF PLAN**

SHEET No.  
**4 OF 8**  
**A4**



**UPPER FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

SQUARE FOOTAGES	
MAIN FLOOR	- 835.4 sq. ft
UPPER FLOOR	- 954.4 sq. ft
TOTAL	- 1,789.8 sq. ft



ROOF & GIRDER TRUSS LOCATIONS TO BE  
VERIFIED BY ROOF TRUSS MANUFACTURER

PROV'D 5" CONT. EAVESTROUGH TO DRAIN  
POSITIVELY TO RAIN WATER DOWNSPOUTS  
LOCATED AS PER OBC REQUIREMENTS &  
LOCAL MUNICIPAL DRAINAGE BYLAWS

**ROOF PLAN**  
SCALE: 1/4" = 1'-0"



PROJECT:  
**PROPOSED TWO STOREY  
GRSIC RESIDENCE**  
PART 2 OF 252 DIVISION STREET  
PORT COLBORNE, ONTARIO

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**DRAWING LIST**

- A1** FRONT & LEFT ELEVATIONS  
EXTERIOR 3D PERSPECTIVES  
**A2** REAR & RIGHT ELEVATIONS  
EXTERIOR 3D PERSPECTIVES  
**A3** LOWER FLOOR PLAN  
MAIN FLOOR PLAN  
**A4** UPPER FLOOR PLAN  
ROOF PLAN  
**A5** CROSS SECTION  
TYPICAL WALL SECTIONS  
**A6** TYPICAL DETAILS  
**A7** NOTE SCHEDULE  
COLUMN SCHEDULE  
WALL SCHEDULE  
**A8** GENERAL NOTES AND SPECS  
LIST OF ABBREVIATIONS  
CONSTRUCTION SCHEDULES

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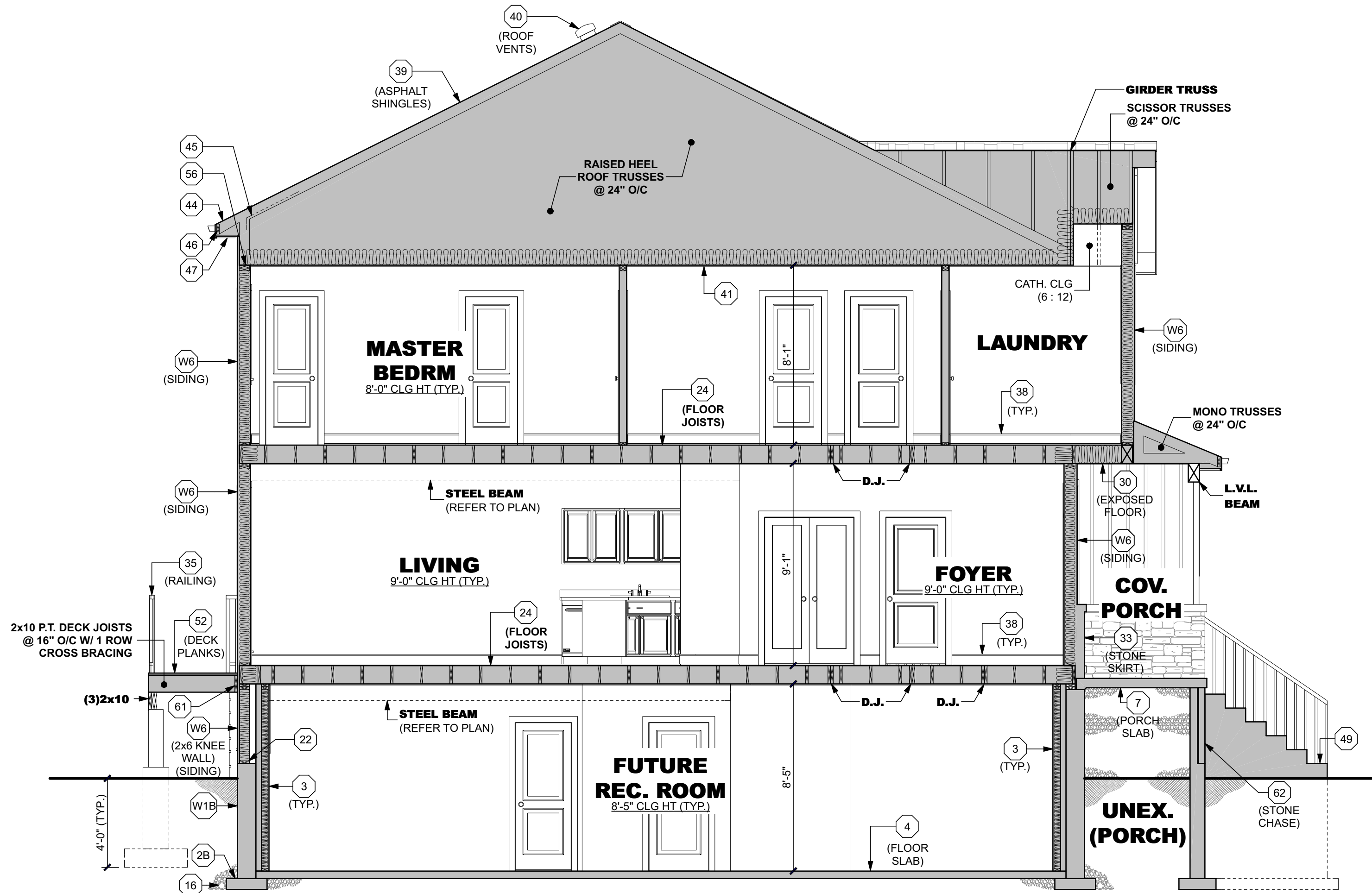
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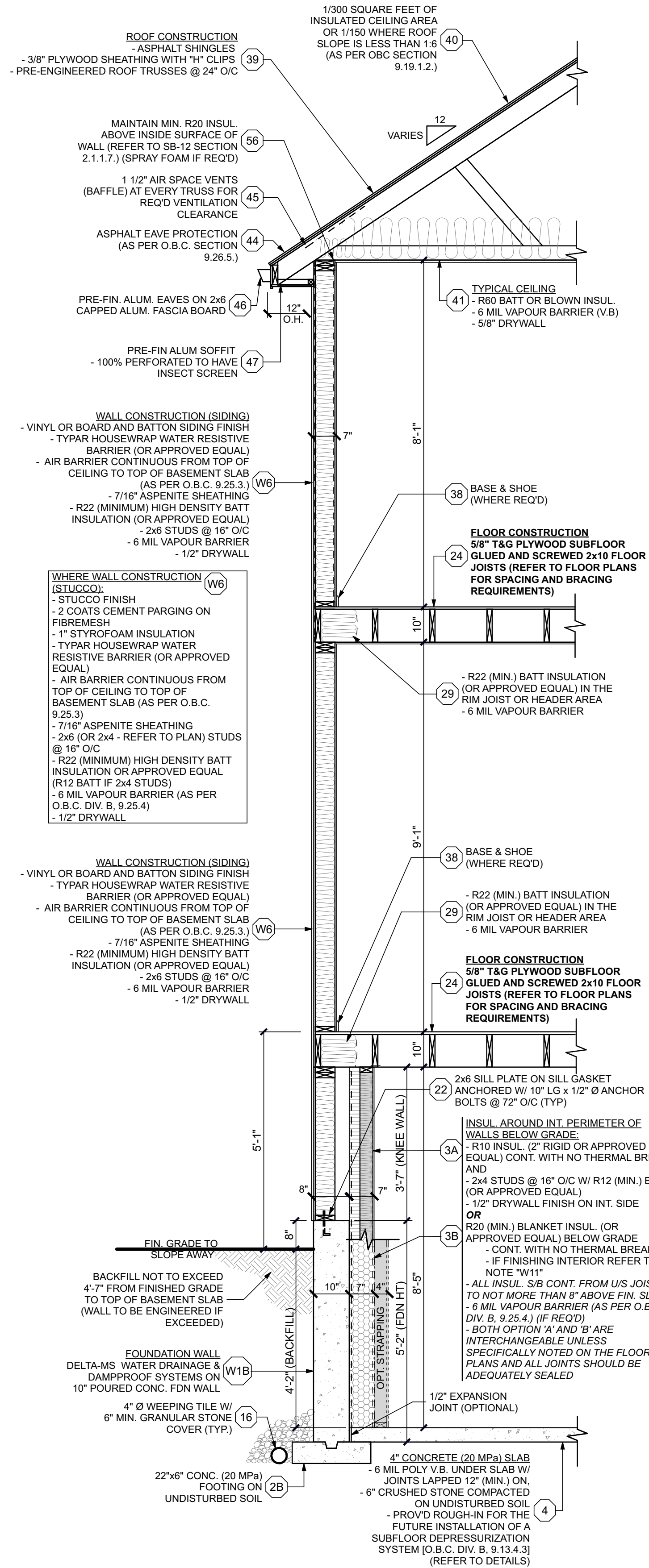
SCALE:  
AS SHOWN

TITLE:  
**CROSS SECTION,  
PARTIAL SECTION,  
WALL SECTION,  
CONSTRUCTION  
SCHEDULES**

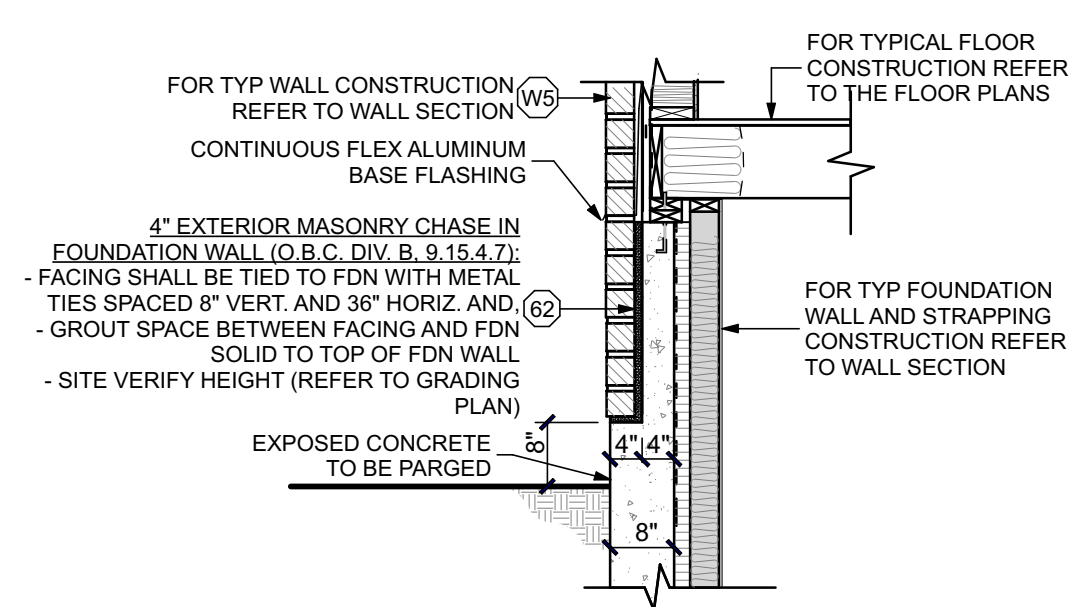
SHEET No.  
**5 OF 8**  
**A5**



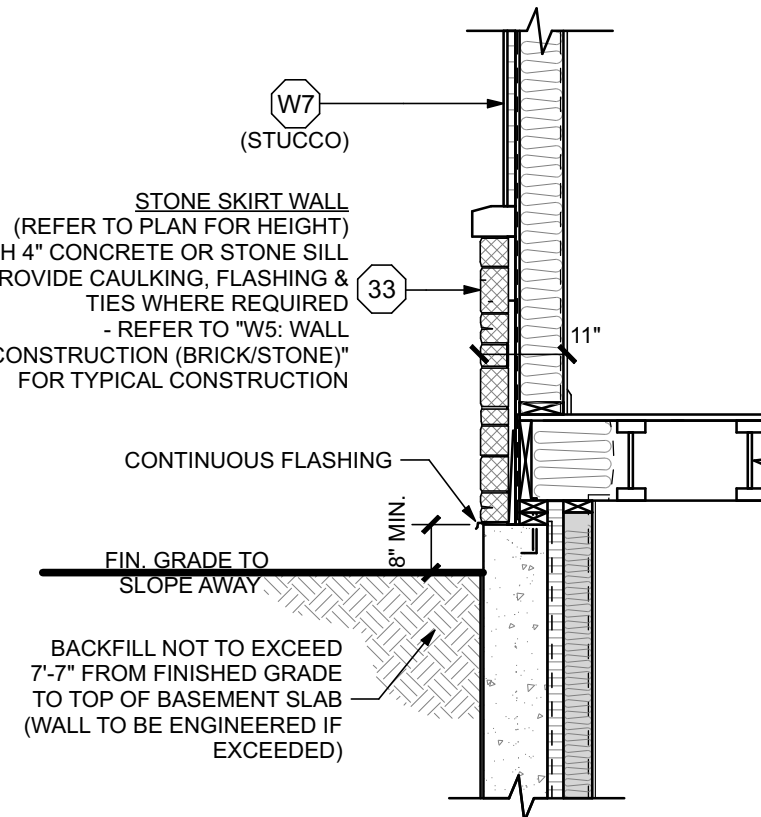
**A**  
**A3** **CROSS SECTION**  
SCALE: 1/4" =1'-0"



**TYPICAL WALL SECTION**  
SCALE: 1/2" =1'-0"



**TYPICAL MASONRY CHASE DETAIL**  
SCALE: 1/2" =1'-0"



**TYPICAL MASONRY SKIRT DETAIL**  
SCALE: 1/2" =1'-0"



PROJECT:  
**PROPOSED TWO STOREY  
GRSIC RESIDENCE**  
PART 2 OF 252 DIVISION STREET  
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REPRODUCTION OF DRAWINGS AND RELATED DOCUMENTS IN PART OR IN WHOLE IS STRICTLY FORBIDDEN WITHOUT WRITTEN CONSENT.  
DRAWINGS TO BE USED FOR THE PURPOSE FOR WHICH THEY ARE ISSUED.

- 1 - MECHANICAL & ELECTRICAL DESIGN BY CONTRACTOR
- 2 - ALL FLOOR DRAIN LOCATIONS TO BE VERIFIED BY CONTRACTOR
- 3 - ALL 18" VENT LOCATIONS TO BE VERIFIED BY CONTRACTOR
- 4 - ALL ROOF ATTIC AREAS MUST HAVE ACCESS.
- 5 - ALL STAIRS TO BE APPROVED BY WAY OF SHOP DRAWINGS PRIOR TO MANUFACTURING.
- 6 - ALL KITCHEN CABINETS TO BE APPROVED PRIOR TO MANUFACTURING BY WAY OF SHOP DRAWING BY THE SUPPLIER, BUILDER & CONTRACTOR.
- 8 - ALL ELECTRICAL LAYOUT TO BE VERIFIED ON SITE WITH OWNER/ BUILDER & CONTRACTOR.
- 9 - ROOF LAYOUT & GIRDER TRUSS LOCATIONS TO BE VERIFIED BY ROOF TRUSS MANUFACTURER PRIOR TO MANUFACTURING.

**DRAWING LIST**

- A1** FRONT & LEFT ELEVATIONS  
EXTERIOR 3D PERSPECTIVES
- A2** REAR & RIGHT ELEVATIONS  
EXTERIOR 3D PERSPECTIVES
- A3** LOWER FLOOR PLAN  
MAIN FLOOR PLAN
- A4** UPPER FLOOR PLAN  
ROOF PLAN
- A5** CROSS SECTION  
TYPICAL WALL SECTIONS
- A6** TYPICAL DETAILS
- A7** NOTE SCHEDULE  
COLUMN SCHEDULE  
WALL SCHEDULE
- A8** GENERAL NOTES AND SPECS  
LIST OF ABBREVIATIONS  
CONSTRUCTION SCHEDULES

NO.	DATE:	REVISION:

CERTIFICATION:  
**PRICING DRAWINGS**  
**NOT TO BE USED  
FOR CONSTRUCTION**

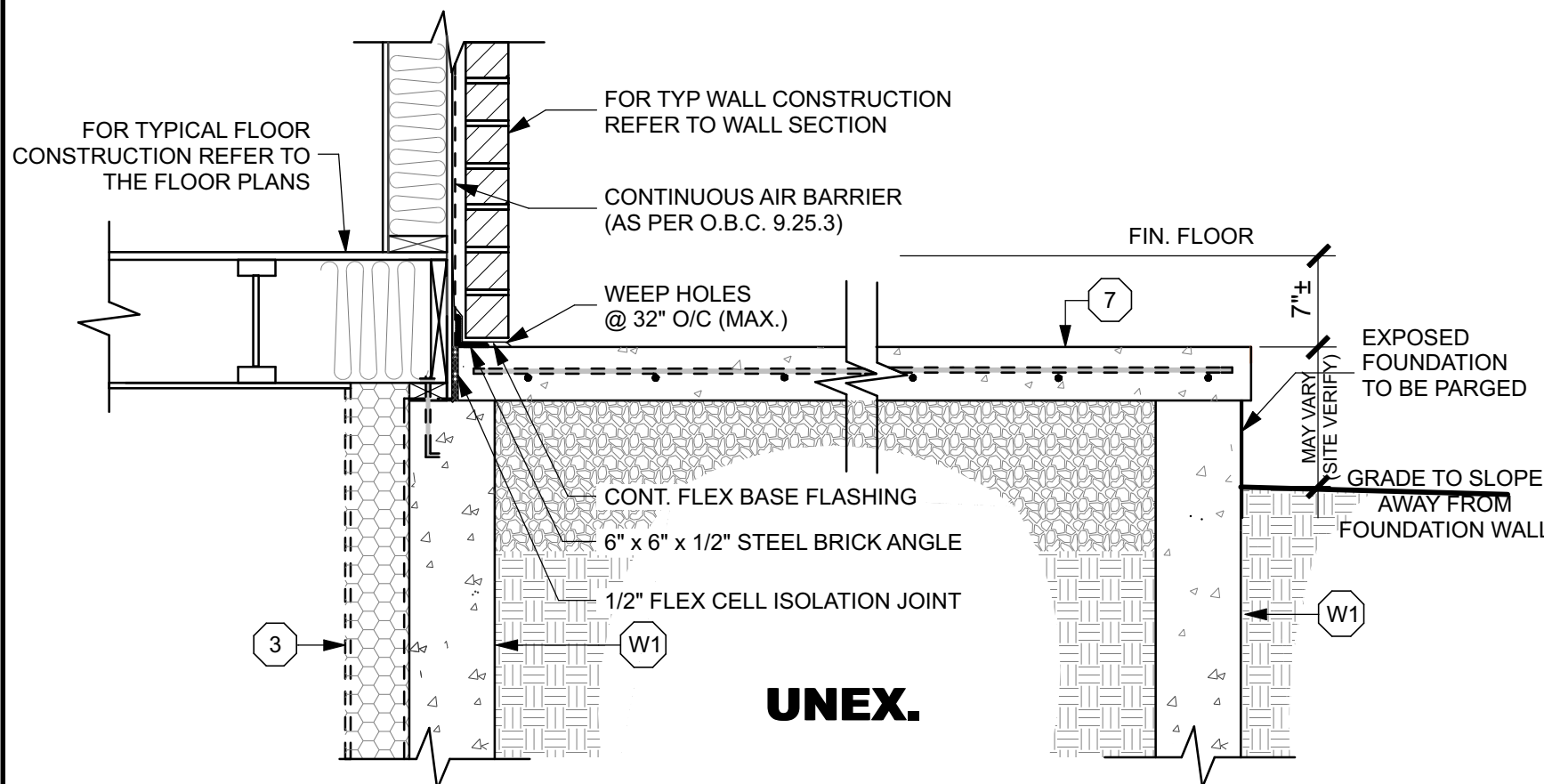
DR. BY: **JUSTIN  
NEWMAN** CH. BY: **MIKE  
CORRIVEAU**

DATE: **2025-08-18** JOB #: **2025-42**

SCALE: **AS SHOWN**

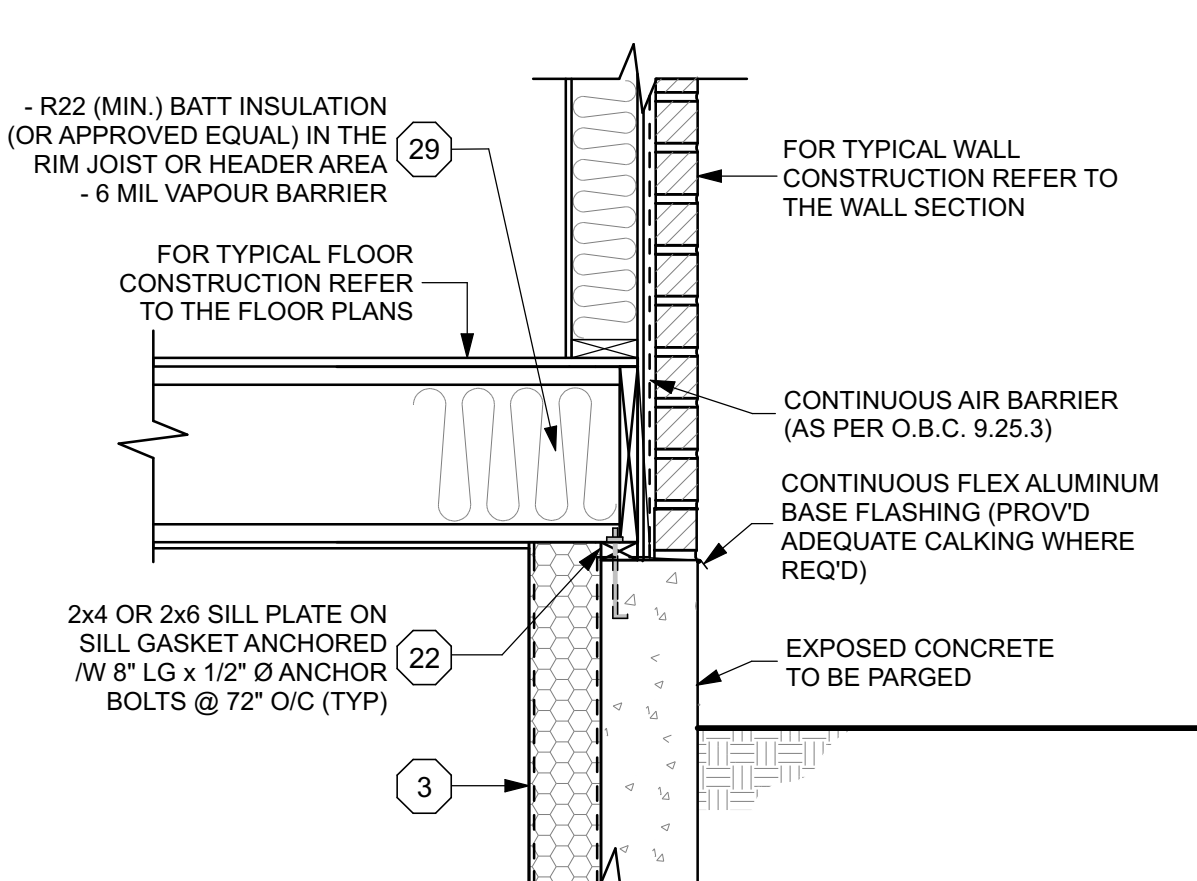
TITLE:  
**TYPICAL DETAILS**

SHEET No.  
**6 OF 8** **A6**



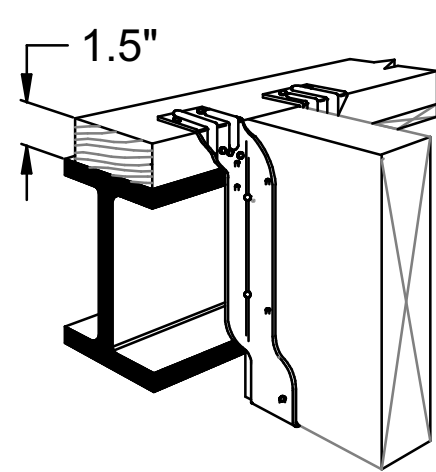
**TYPICAL PORCH SLAB DETAIL**

SCALE: 3/4" = 1'-0"



**TYPICAL JOIST TO FOUNDATION  
CONNECTION DETAIL**

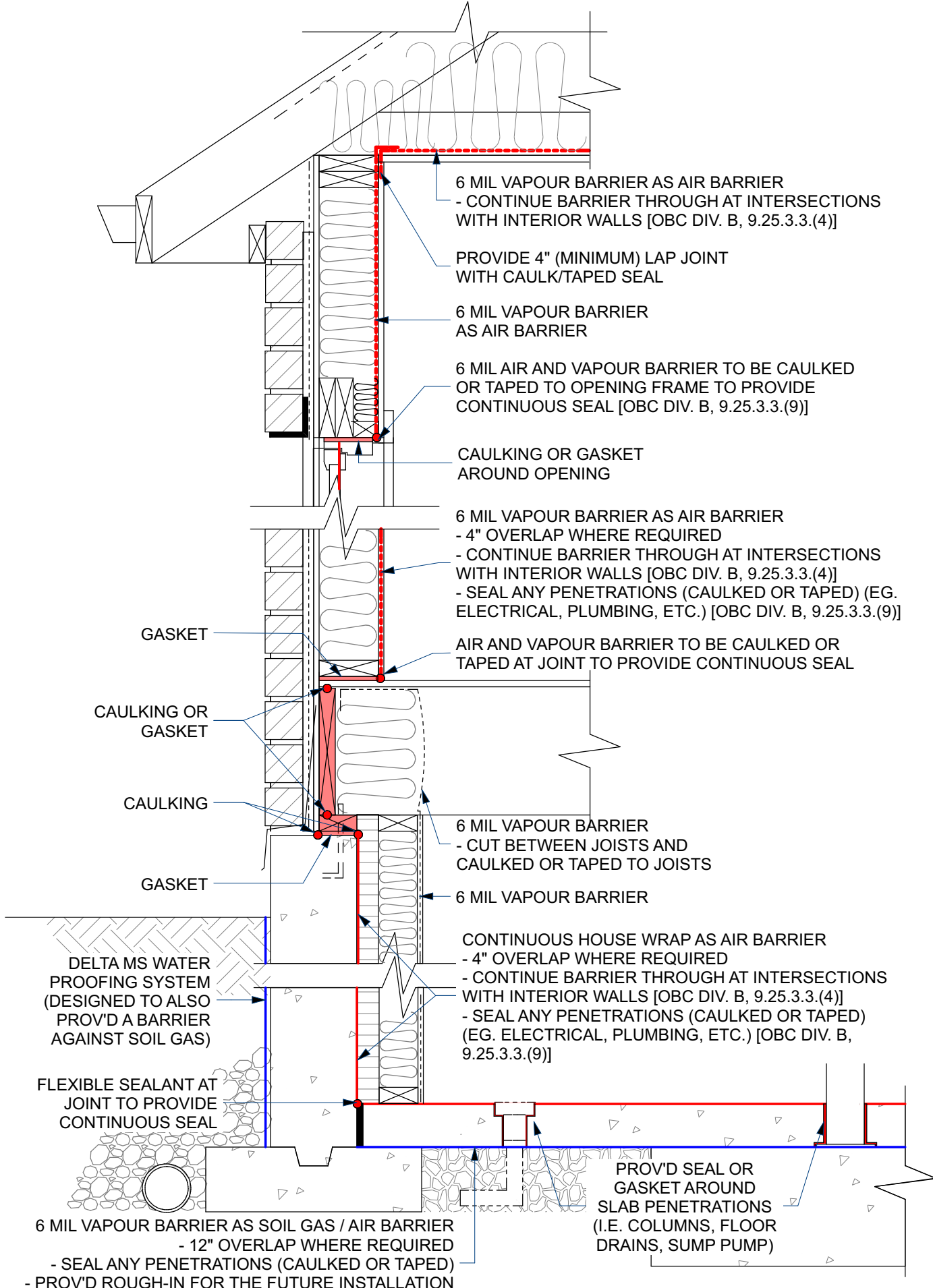
SCALE: 3/4" = 1'-0"



Simpson Strong-Tie  
HIT

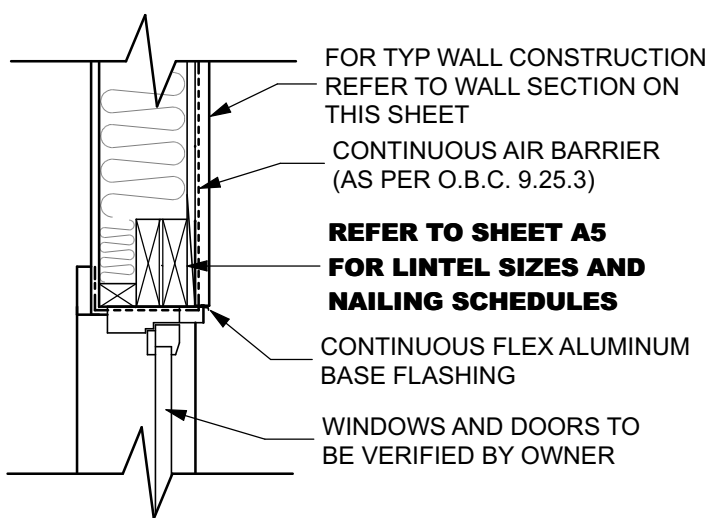
**TYPICAL JOIST TO FLUSH  
BEAM CONNECTION DETAIL**

N.T.S.



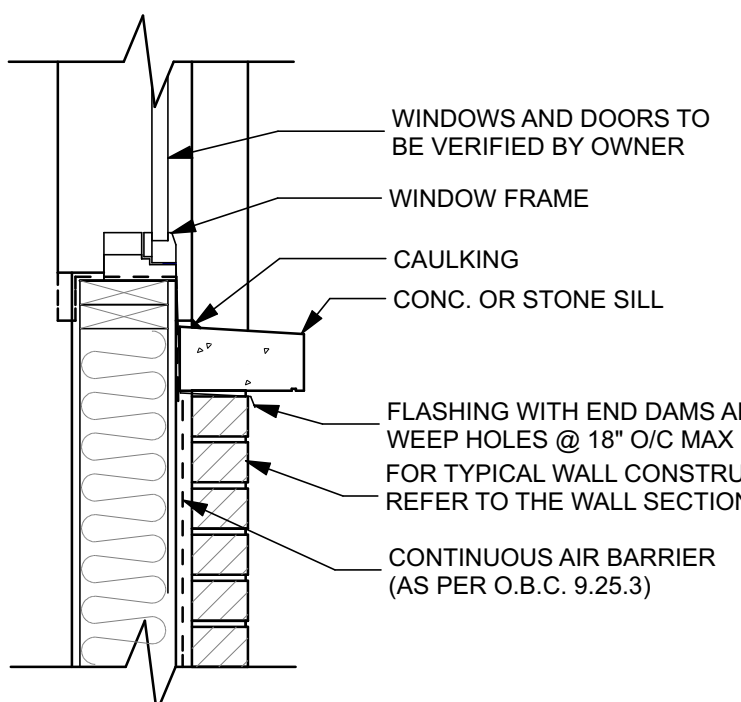
**TYPICAL  
AIR/SOIL GAS BARRIER DETAIL**

SCALE: 1" = 1'-0"



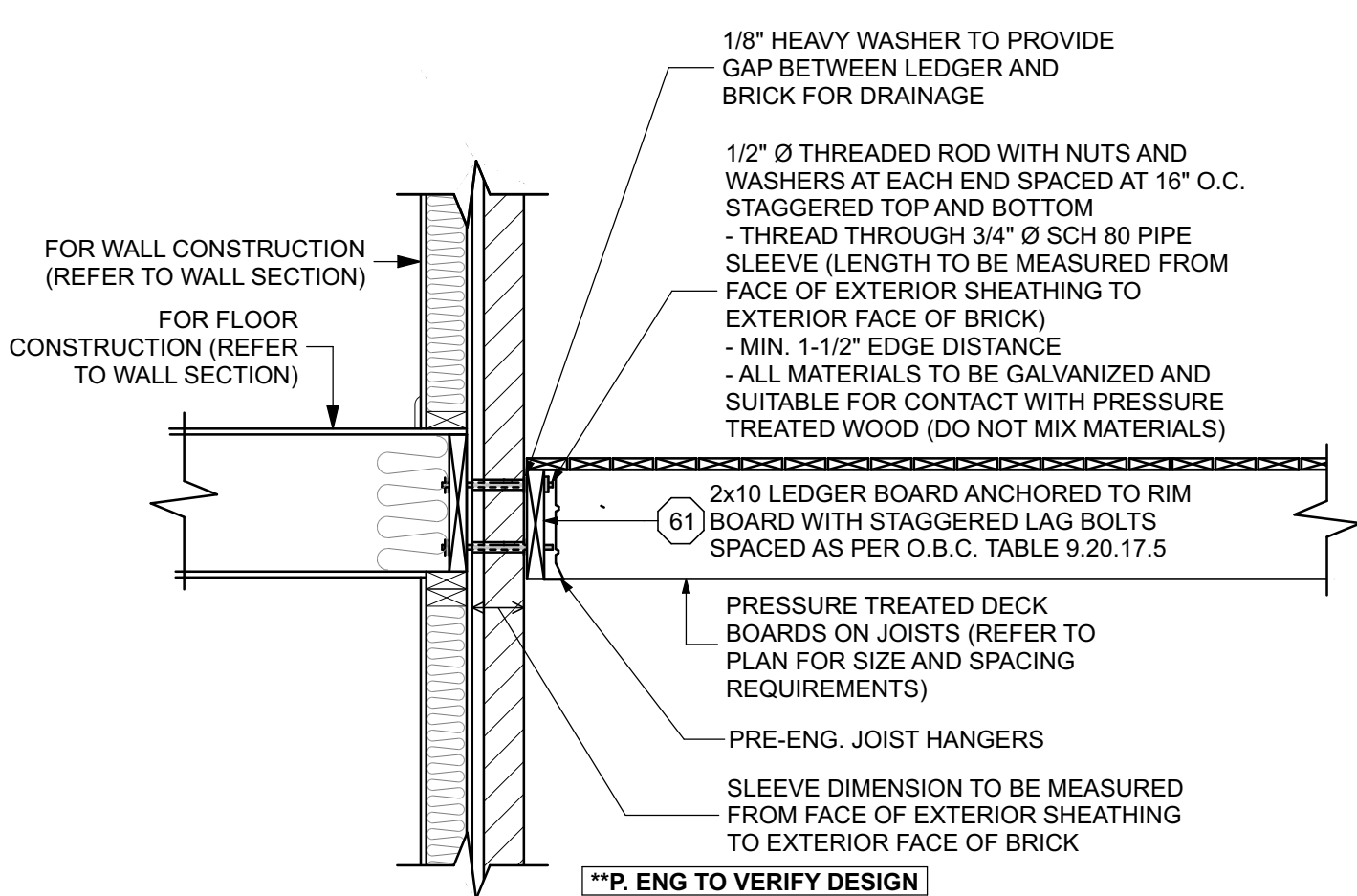
**TYPICAL LINTEL DETAIL**

SCALE: 1" = 1'-0"



**TYPICAL SILL DETAIL**

SCALE: 1" = 1'-0"



**TYPICAL DECK CONNECTION  
@ EXTERIOR WALL**

N.T.S.

**A-9.13.4.3.(2)(b) and (3)(b)(i) Effective Depressurization.**  
To allow effective depressurization of the space between the air barrier and the ground, the extraction opening (the pipe) should not be blocked and should be arranged such that air can be extracted from the entire space between the air barrier and the ground. This will ensure that the extraction system can maintain negative pressure underneath the entire floor (or in heated crawl spaces underneath the air barrier). The arrangement and location of the extraction system inlet(s) may have design implications where the footing layout separates part of the space underneath the floor.

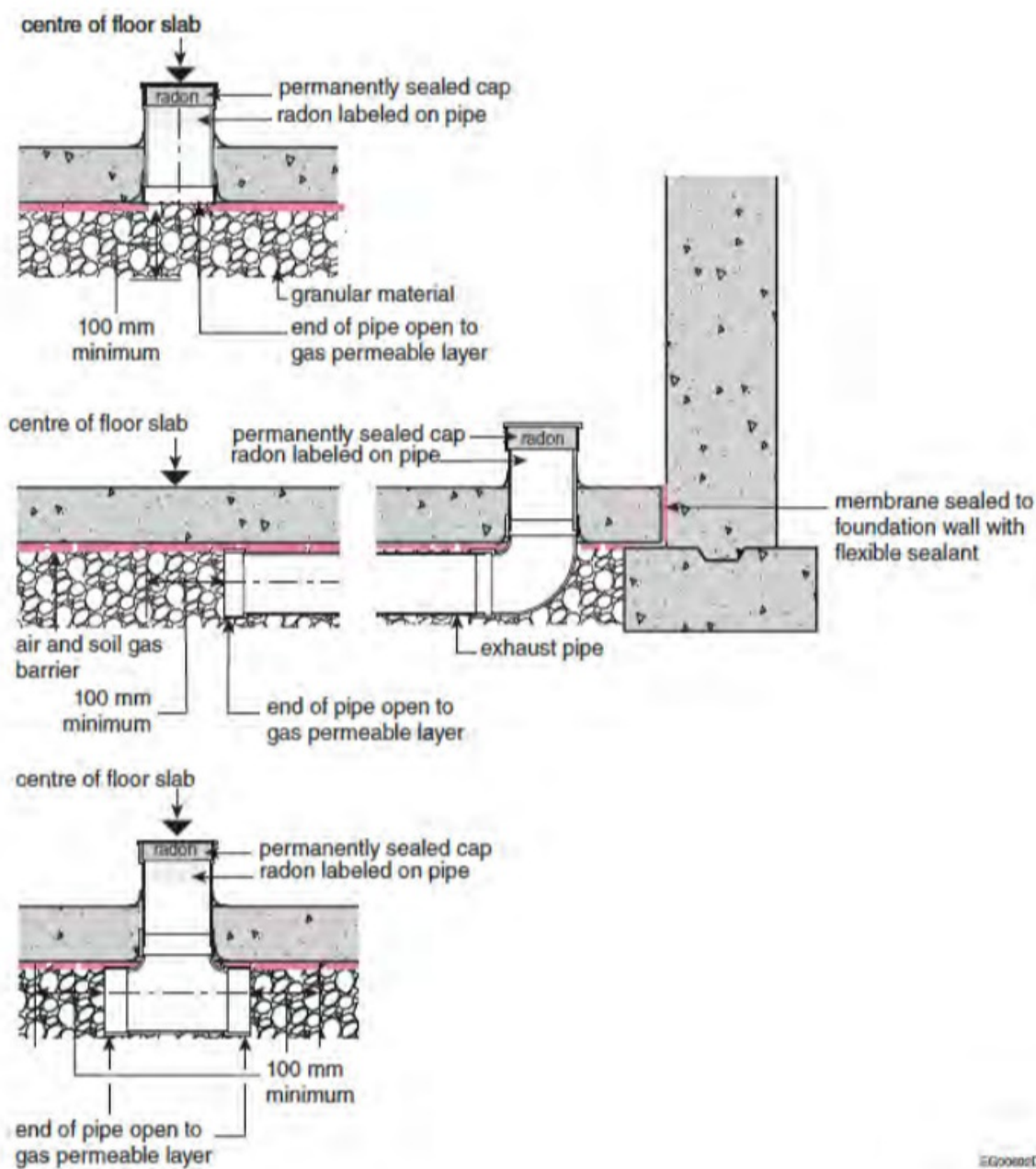
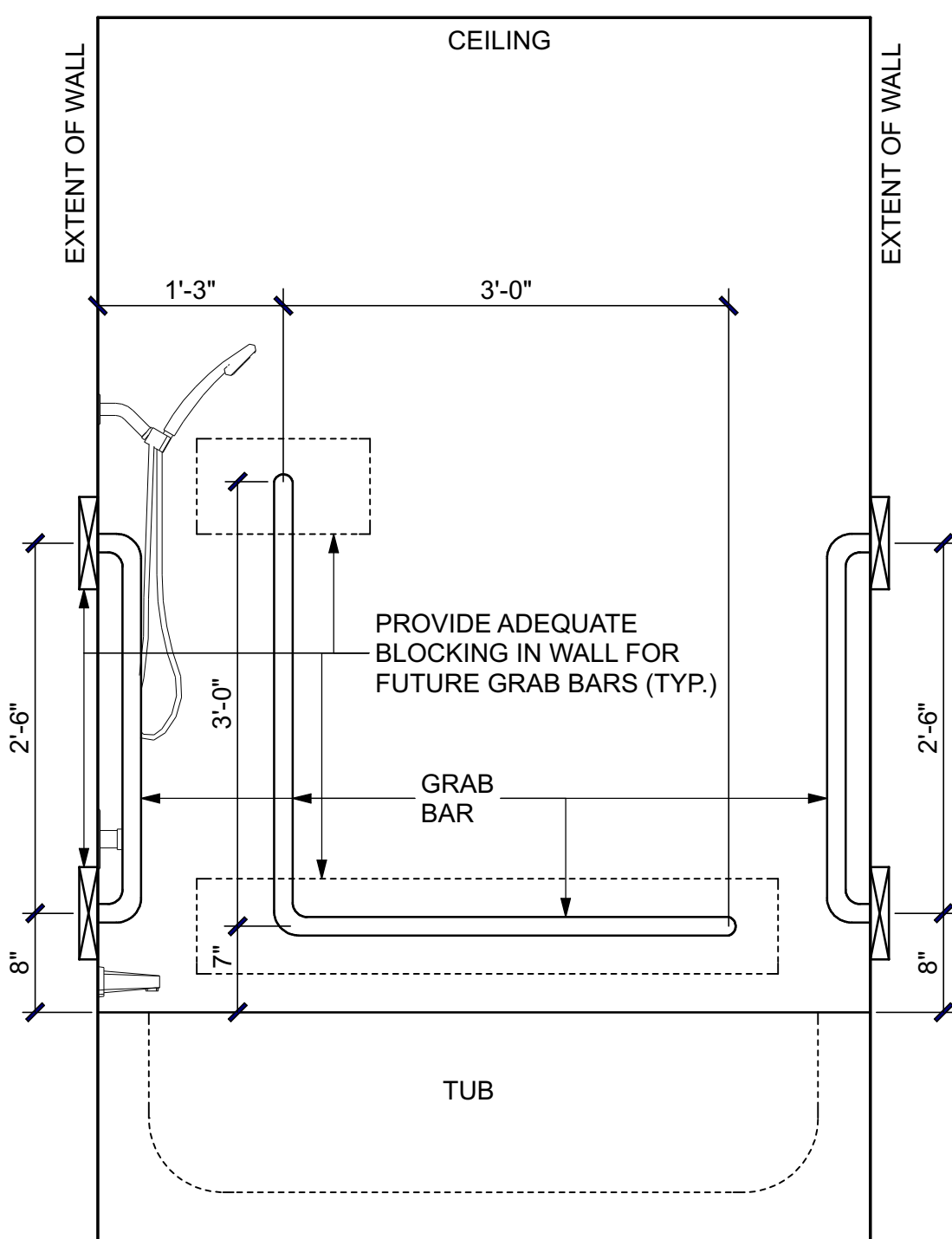


Figure A-9.13.4.3.(2)(b) and (3)(b)(i)  
Acceptable Configurations for the Extraction Opening in a Depressurization System

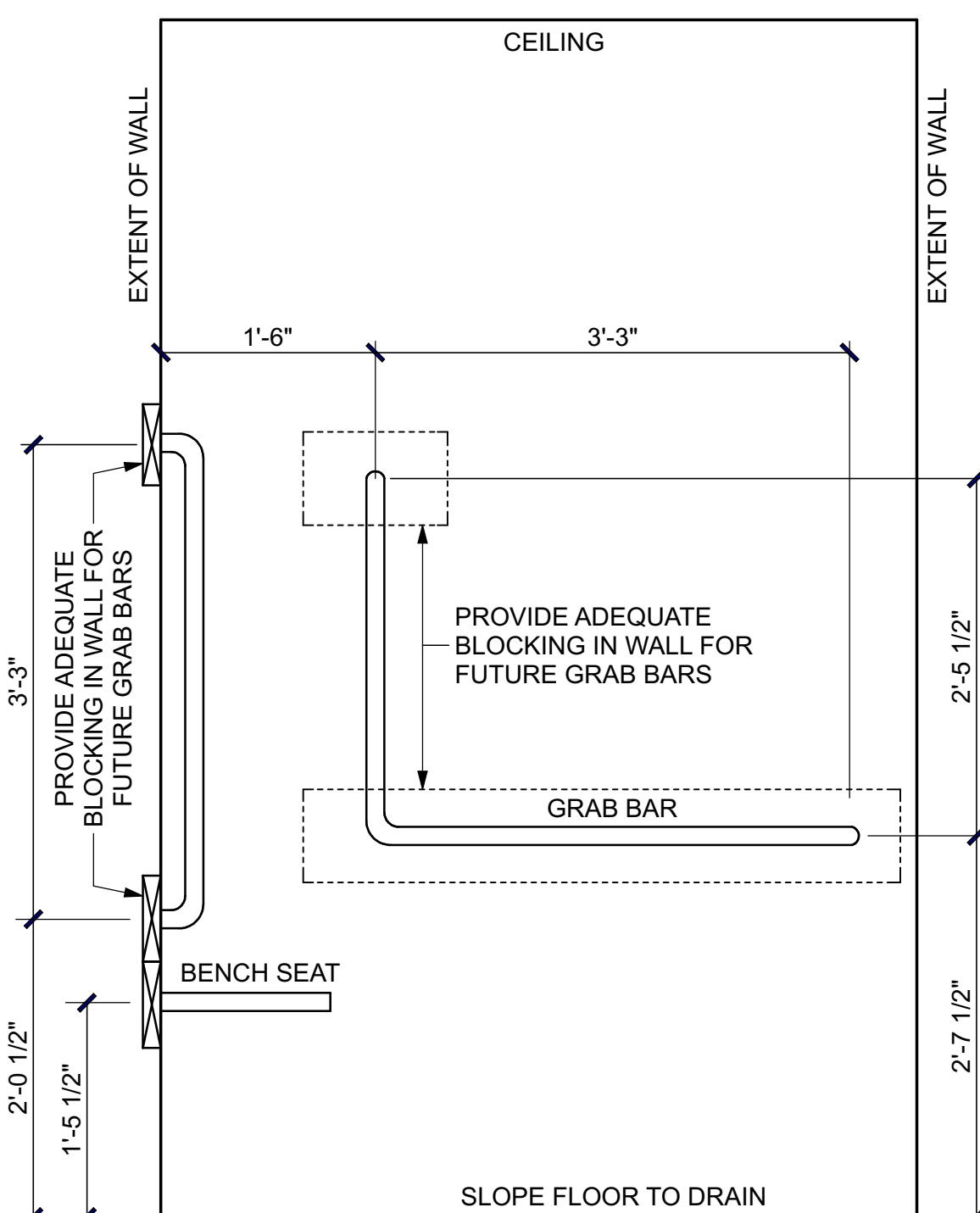
**ROUGH-IN FOR FUTURE SUBFLOOR  
DEPRESSURIZATION SYSTEM**

N.T.S.



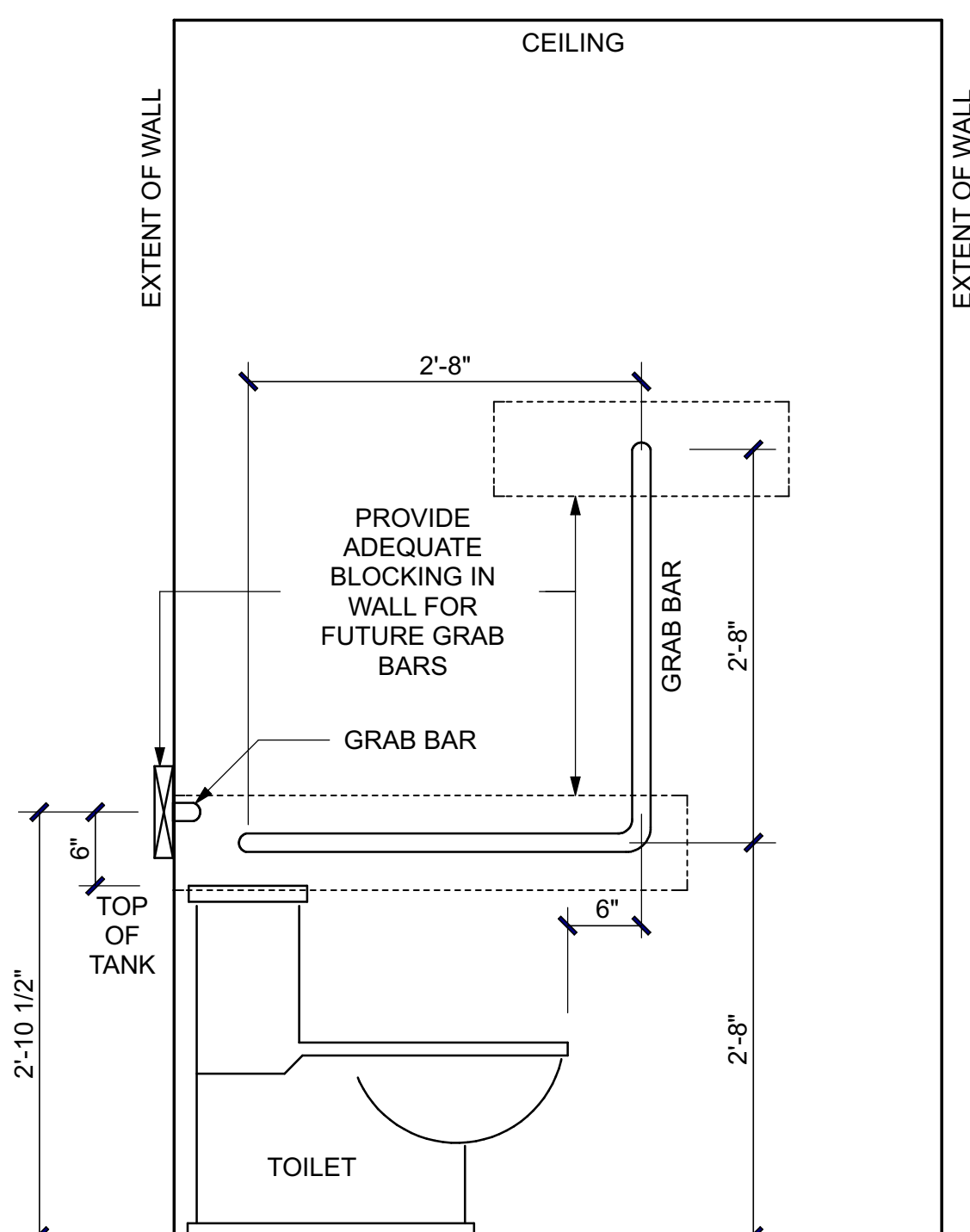
**TYPICAL TUB  
GRAB BAR DETAIL**

N.T.S.



**TYPICAL SHOWER  
GRAB BAR DETAIL**

N.T.S.



**TYPICAL TOILET  
GRAB BAR DETAIL**

N.T.S.



NOTE SCHEDULE

2)

FOOTINGS:

ALL SHOULD BEAR ON UNDISTURBED SOIL

A) 20"x6" CONCRETE FOOTING (20 MPa)

B) 22"x6" CONCRETE FOOTING (20 MPa)

C) 24"x6" CONCRETE FOOTING (20 MPa)

3)

INSULATION AROUND INTERIOR PERIMETER OF WALLS BELOW GRADE:

A) R10 (MIN.) INSUL. (COMPRESSED R12 BATTS PLACED HORIZONTAL AFTER STUDS INSTALLED) CONT. WITH NO THERMAL BREAK

- 2x4 STUDS @ 16" O/C WITH R12 (MIN.) BATT (OR APPROVED EQUAL)

- 12" DRYWALL FINISH ON INTERIOR SIDE, **OR**,

B) R20 (MIN.) BLANKET INSULATION (OR APPROVED EQUAL) BELOW GRADE

- CONTINUOUS WITH NO THERMAL BREAK

- OPTIONAL 2x4 STRAPPING WITH 1/2" DRYWALL FINISH

- 6 MIL VAPOUR BARRIER [O.B.C. DIV. B, 9.25.4] (**IF REQ'D**)

- BOTH 'A' AND 'B' ARE INTERCHANGEABLE UNLESS NOTED ON THE FLOOR PLANS & ALL JOINTS SHOULD BE SEALED

4)

BASEMENT FLOOR, CONCRETE SLAB:

- 4" THICK 20MPa CONCRETE

- 6 MIL POLY V.B. UNDER SLAB W/ JOINTS LAPPED 12" (MIN.) ON,

- 6" CRUSHED STONE COMPACTED ON UNDISTURBED SOIL

- PROVD ROUGH-IN FOR THE FUTURE INSTALLATION OF A SUBFLOOR DEPRESSURIZATION SYSTEM [O.B.C. DIV. B, 9.13.4.3] (REFER TO DETAILS)

5)

REINFORCED CONCRETE SLAB:

- 5" THICK 32 MPa CONCRETE

- 10M REBAR @ 8" O/C BOTH WAYS [O.B.C. DIV. B, 9.40]

- PROVIDE 3" BEARING (MIN.) & ANCHORED TO WALLS WITH 24"x24" 10M BENT DOWELS NOT SPACED MORE THAN 24" O/C

6)

GARAGE FLOOR, CONCRETE SLAB:

- 5" THICK 32 MPa CONCRETE, WITH,

- 6"x6"x #6/6 WELDED WIRE MESH, ON,

- 8" CLEAR CRUSHED STONE

- REMOVE TOPSOIL [O.B.C. DIV. B, 9.12.1.1]

- SLOPE TO GARAGE DOOR

7)

CONCRETE SLAB ON GRADE:

- 5" THICK 32 MPa CONCRETE

- 6"x6"x #6/6 WELDED WIRE MESH

- 4" (MINIMUM) CLEAR CRUSHED STONE

- REMOVE TOPSOIL [O.B.C. DIV. B, 9.12.1.1]

8)

FUTURE GRAB BARS IN THE MAIN BATHROOM:

- PROVIDE BLOCKING BETWEEN STUDS FOR INSTALLATION OF GRAB BARS FOR WATER CLOSETS, BATHTUBS AND SHOWERS [O.B.C. DIV. B, 9.5.2.4 (1)]

- IF NO WALL IS PRESENT DUE TO DESIGN CONSTRAINTS THEN LEAVE SPACE FOR INSTALLATION OF A FUTURE WALL FOR THE GRAB BAR

- REFER TO TYPICAL DETAILS

10)

WINDOW WELL:

- GALVANIZED STEEL OR APPROVED EQUAL

- ADEQUATE DRAINAGE WHERE REQUIRED

- PROVIDE A COVER OR GRATE AT OR ABOVE GRADE LEVEL IF REQ'D (INSTALLED AS PER MANUF. SPECS)

- IF WINDOW IS USED FOR EGRESS: ENSURE THE COVER IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS [O.B.C., 9.9.10.1,(1)]

11)

- DEPRESS CONCRETE FOR OPENING ABOVE

- REFER TO PLAN FOR SIZE

13)

- DEPRESS CONCRETE FOUNDATION WALL FOR CONCRETE STAIR BEARING

- REFER TO TYPICAL CONCRETE STAIR WALKOUT DETAIL WHEN APPLICABLE

14)

SUMP PUMP [O.B.C. DIV. B, 9.15.5.2]:

- SUMP PIT SHALL BE A MINIMUM OF 2'-6" DEEP AND 2.7sq. ft. IN AREA

- PROVIDE A COVER DESIGNED TO RESIST REMOVAL BY CHILDREN AND BE AIRTIGHT [O.B.C. DIV. B, 9.25.3.3,(7)]

- PROVIDE ADEQUATE SEAL AROUND SLAB PENETRATION

- SITE VERIFY LOCATION

15)

SUMP PUMP DISCHARGE:

PROVIDE SLEEVE THROUGH CONCRETE WITH ADEQUATE SEAL WHERE REQUIRED

- REFER TO GRADING PLAN FOR FINAL DISCHARGE PIPE LOCATION & DIRECTION (SITE VERIFY)

- DIRECT TO FRONT, REAR, OR AVAILABLE DRAINAGE DITCHES (BURY PIPES UNDER WALKWAY OR DRIVEWAYS AS REQUIRED)

- GRAVITY DRAINED OR DISCHARGE WATER INTO SEWER, DRAINAGE DITCH OR DRYWELL [O.B.C. DIV. B, 9.14.5.2.(3)]

16)

FOUNDATION DRAINAGE [O.B.C. DIV. B, 9.14]:

- 4" Ø WEEPING TILE [O.B.C. 9.14.3] AT THE BOTTOM OF EVERY FOUNDATION THAT CONTAINS A BUILDING INTERIOR

- 6" (MINIMUM) GRANULAR STONE COVER

17)

PRE-FINISHED AIR VENT(S) WITH RAIN & INSECT SCREEN

18)

FLOOR DRAIN:

- 4" Ø DRAIN WITH COVER (SITE VERIFY LOCATION)

- PROVIDE ADEQUATE SEAL AROUND SLAB PENETRATION

20)

ROUGH-IN FOR FUTURE SUBFLOOR DEPRESSURIZATION [O.B.C. 9.13.4.3]:

- 4" (MIN.) PIPE EXPOSED THROUGH FLOOR SLAB WITH A PERMANENTLY SEALED CAP AND "RADON" LABELED ON THE PIPE

- 4" (MIN.) PIPE UNDER THE SLAB ENDING AT OR NEAR THE CENTER OF THE FLOOR AND OPEN TO A GAS PERMEABLE LAYER OF CLEAN GRANULAR MATERIAL (OR APPROVED EQUAL)

- SITE VERIFY LOCATION AND REFER TO DETAILS

21)

BEAM POCKET IN FOUNDATION WALL:

- 4" DEEP & GROUTED

- SITE VERIFY WIDTH AND HEIGHT TO SUIT BEAM

22)

SILL PLATE:

- 2x4 OR 2x6 LUMBER ON SILL GASKET

- ANCHORED TO FOUNDATION WITH 8" LONG X 1/2" Ø ANCHOR BOLTS @ 72" O/C

- LEVEL PLATE BY SETTING THEM ON A FULL BED OF MORTAR IF REQUIRED (SITE VERIFY)

24)

FLOOR CONSTRUCTION:

- 5/8" TONGUE AND GROOVE PLYWOOD SUBFLOOR GLUED AND SCREWED TO FLOOR JOISTS

- REFER TO PLAN FOR SIZING, SPACING AND BRACING REQUIREMENTS

25)

FLUSH MOUNT JOISTS OR TRUSSES (REFER TO PLAN) TO BEAM USING PRE-ENG. HANGERS

26)

LOAD BEARING WALL ABOVE:

- JOISTS TO CARRY LINE LOAD

- LUMBER SUPPLIER TO VERIFY

27)

CANTILEVERED FLOOR IN CLOSET ABOVE:

- GASPROOF & INSULATE AT UNDERSIDE OF FLOOR

- FOR ADDITIONAL BEARING FRAME 2x4 WALL UNDER CANTILEVERED FLOOR & PROVIDE 6" THICKENED SLAB

29)

INSULATION IN HEADER OR RIM JOIST AREA:

- BATT INSULATION OR APPROVED EQUAL

- THERMAL VALUE MUST MATCH THE WALL ABOVE (REFER TO WALL SECTION) [REFER TO O.B.C. SB-12, 3.1.1.1,(14)]

- 6 MIL VAPOUR BARRIER [O.B.C. DIV. B, 9.25.4] ON WARM SIDE OF INSULATION

30)

EXPOSED FLOOR SYSTEM:

- 5/8" TONGUE & GROOVE PLYWOOD SHEATHING

- 6 MIL POLY VAPOUR BARRIER (TO TIE INTO ADJOINING WALL ASSEMBLIES)

- FLOOR JOISTS (REFER TO PLAN FOR SIZING, SPACING AND BRACING REQUIREMENTS)

- R32 (MIN.) INSULATION (BATT OR APPROVED EQUAL) (SPRAY FOAM RECOMMENDED)

- AIR BARRIER (CONTINUOUS AND TIED INTO ADJOINING WALL/FLOOR ASSEMBLIES)

- 1x3 STRAPPING @ 16" O/C

- PRE-FINISHED ALUMINUM SOFFIT

31)

OPTIONAL REQUIREMENTS FOR FUTURE INSTALLATION OF ELECTRIC VEHICLE CHARGING:

- PROVIDE A CONDUIT DIRECTLY FROM THE ELECTRICAL PANEL INTO THE PARKING AREA THAT IS, IS NOT LESS THAN 1" TRADE SIZE AND IS EQUIPPED WITH THE MEANS TO ALLOW CABLES TO BE PULLED THROUGH AND,

- AN ELECTRICAL OUTLET BOX IN THE PARKING AREA THAT IS 4-11/16" TRADE SIZE

- BOTH SHALL PROVIDE AN EFFECTIVE BARRIER AGAINST THE PASSAGE OF GAS AND EXHAUST AND MEET ALL ELECTRICAL CODES

33)

BRICK OR STONE SKIRT:

- BRICK OR STONE SKIRT WALL (REFER TO PLAN FOR HEIGHT) WITH 4" CONCRETE OR STONE SILL

- PROVIDE CAULKING, FLASHING & TIES WHERE REQUIRED

- REFER TO "WS. WALL CONSTRUCTION (BRICK/STONE)" NOTE FOR TYPICAL CONSTRUCTION

34)

HANDRAIL AND/OR GUARD AT STAIRS OR RAMP:

- WHERE SIDE IS PROTECTED BY WALL REFER TO O.B.C. DIV. B, 9.8.7 **OTHERWISE** REFER TO O.B.C. DIV. B, 9.8.8 FOR GUARD REQUIREMENTS

- HEIGHT BETWEEN 36" AND 42"

- PROVD 2" CLEARANCE FROM WALL WITH NO MORE THAN 4" PROJECTED INTO REQUIRED STAIR WIDTH

35)

GUARD (RAILING OR HALF WALL - REFER TO PLAN) [O.B.C. DIV. B, 9.8.8]:

- WOOD (UNLESS OTHERWISE NOTED) OR APPROVED EQUAL

- HEIGHT: - INTERIOR, 36"

- EXTERIOR, 36" IF WALKING SURFACE IS LESS THAN 6'-0" (1.8m) ABOVE FINISHED GRADE, OTHERWISE 42"

- INTERIOR OR EXTERIOR WHEN SERVING MORE THAN 1 DWELLING UNIT (WITH OR WITHOUT A SECONDARY SUITE), 42"

- NO OPENING IN RAILING/GUARD CAN PERMIT THE PASSAGE OF A SPHERICAL OBJECT 4" Ø OR LARGER

- THE TRIANGULAR SPACE AT THE BOTTOM FORMED BY STAIRS SHALL PREVENT THE PASSAGE OF A 6" Ø SPHERE

- NO MEMBER OF THE RAILING BETWEEN 5.5' AND 36" ABOVE THE FLOOR OR WALKING SURFACE SHALL BE DESIGNED TO FACILITATE CLIMBING

36)

INSULATED SELF-CLOSING DOOR WITH WEATHER-STRIPPING

37)

INTERIOR WALLS AND CEILING SEPARATING GARAGE & HOUSE:

- 1/2" OR 5/8" TYPE 'X' GYPSUM BOARD

- PROVIDED R22 INSULATION IN WALLS AND R31 IN CEILING

- TAPE AND SEAL ALL JOINTS GAS & SMOKE TIGHT

38)

BASE & SHOE (WHERE REQUIRED)

39)

ROOF CONSTRUCTION:

- ASPHALT SHINGLES UNLESS OTHERWISE NOTED (REFER TO ELEVATIONS)

- 3/8" PLYWOOD SHEATHING WITH 1" CLIPS

- PRE-ENG. ROOF TRUSSES @ 24" O/C

40)

ROOF VENTS [O.B.C. DIV. B, 9.19.1.2]:

- ROOF SLOPE OF 1:6 OR GREATER: 1/300 SQUARE FEET OF INSULATED CEILING AREA

- ROOF SLOPE OF LESS THAN 1:6: 1/150 SQUARE FEET OF INSULATED CEILING AREA

41)

TYPICAL CEILING:

- R30 (MIN.) BATT OR BLOWN INSULATION (OR APPROVED EQUAL)

- 6 MIL VAPOUR BARRIER AS PER O.B.C. DIV. B, 9.25.4

- 5/8" DRYWALL

42)

DROPPED CEILING IN THIS AREA:

- R31 INSULATION (MINIMUM) [BATT OR APPROVED EQUAL WITH SPRAYED FOAM INSULATION OPTIONAL BUT RECOMMENDED]

- PROVIDE HEAT DUCT & COLD AIR RETURN INTO VOID

43)

ATTIC ACCESS [O.B.C. DIV. B, 9.19.2]:

- MINIMUM 20"x26"

- PROVIDE R20 INSULATION & WEATHER STRIPPING

- SITE VERIFY LOCATION

44)

ASPHALT EAVE PROTECTION AS PER O.B.C. DIV. B, 9.26.5

45)

1 1/2" AIR SPACE VENTS (BAFFLE) AT EVERY TRUSS FOR REQUIRED VENTILATION CLEARANCE

46)

PRE-FINISHED ALUMINUM EAVESTROUGH ON 2x6 CAPPED ALUMINUM FASCIA BOARD

47)

PRE-FINISHED PERFORATED ALUMINUM SOFFIT WITH INSECT SCREEN

48)

STAIR WALKOUT (CAST-IN-PLACE CONCRETE STEPS):

- RISE: NOT TO EXCEED 7-7/8"

- RUN: 10" RUN WITH 1" NOSE **OR** 11" RUN W/ NO NOSING

- \*P. ENG. TO VERIFY INCLUDED DETAIL

49)

CAST-IN-PLACE STEPS:

- RISE: NOT TO EXCEED 7-7/8"

- RUN: 10" RUN WITH 1" NOSE **OR** 11" RUN W/ NO NOSING

- ANCHORED TO CONCRETE WALL & ON 10" GRANULAR BASE ON UNDISTURBED SOIL (SITE VERIFY DIMS)

51)

STEPS(S) [O.B.C. DIV. B, 9.8]:

THE STEP(S) SHOWN ON PLAN ARE AN ESTIMATE AND MAY NOT REFLECT ACTUAL SITE CONDITIONS.

AFTER FINISHING SLAB/GRADE IS COMPLETE, SITE VERIFY NUMBER OF STEPS REQUIRED BASED ON THE FOLLOWING DESIGN REQUIREMENTS

- WOOD, CONCRETE OR APPROVED EQUAL

- RISE: NOT TO EXCEED 7-7/8" / RUN: 10" RUN WITH 1" NOSE

- PROVIDE A LANDING [DESIGNED AS PER O.B.C. DIV. B, 9.8.6] **EXCEPT WHERE:**

- IN A DWELLING UNIT, THE DOOR AT THE TOP OF A STAIR SWINGS AWAY FROM THE STAIR, OR

- IN AN ATTACHED GARAGE OR SECONDARY ENTRANCE, THE STAIR HAS NO MORE THAN 3 RISERS & THE DOOR AT THE TOP SWINGS AWAY

- PROVIDE HANDRAILS (SEE NOTE 34) **EXCEPT WHERE:**

- INTERIOR STAIRS, HAVE NO MORE THAN 2 RISERS, OR EXTERIOR STAIRS, HAVE NO MORE THAN 3 RISERS

- PROVIDE GUARDS (SEE NOTE 38) WHERE THE DIFFERENCE BETWEEN SURFACES IS MORE THAN 1'-11"

- BOTTOM TO BEAR ON PATIO STONE OR CONCRETE SLAB

52)

DECK PLANKING:

- 5/4" PRESSURE TREATED DECK PLANKS WITH 3/16" BETWEEN

- SLOPED AWAY FROM HOUSE 1/4" PER FOOT (MINIMUM)

53)

MINIMUM REQUIRED HEIGHT OVER STAIRS [O.B.C. DIV. B, 9.8.2.2]:

- SLANT JOISTS IF NEEDED

- SINGLE DWELLING UNIT (WITH OR WITHOUT SECONDARY SUITE): 6'-5"

- WITHIN SECONDARY SUITES WHERE STAIRS ARE UNDER BEAMS OR DUCTS: 6'-1"

- ALL OTHER CASES: 6'-9"

54)

GAS FIREPLACE:

- PROVIDE DIRECT VENT AS PER O.B.C. DIV. B, 9.22.10.2

55)

PROVIDE SEPARATE DIRECT VENTS FOR FURNACE, HOT WATER TANK, H.R.V., DRYER AND EXHAUST HOOD

56)

INSULATION DIRECTLY ABOVE INSIDE SURFACE OF WALL:

- MAINTAIN R20 (MINIMUM) INSULATION

- SPRAY FOAM IF REQUIRED

- REFER TO SB-12 SECTION 3.1.1.8

57)

FLAT ROOF:

- PROVIDE BITUMINOUS MEMBRANE & FLASHING AS PER O.B.C. (SLOPE 1/4" = 1'-0" (MINIMUM) AWAY FROM HOUSE OR TO PROVIDED DRAIN)

- 5/8" T&G PLYWOOD SHEATHING

- ROOF JOISTS / TRUSSES (REFER TO PLAN FOR SPACING AND BRACING REQUIREMENTS)

58)

INSULATED METAL DOOR WITH WEATHER STRIPPING

59)

[S.A. - SMOKE ALARM [O.B.C. DIV. B, 9.10.19]:

- 110V INTERCONNECTED SMOKE ALARM COMPLETE WITH REQUIRED VISUAL COMPONENT

60)

[S.C.A. - SMOKE & CARBON MONOXIDE ALARM [O.B.C. DIV. B, 9.10.19 & 9.32.3.9]:

- 110V INTERCONNECTED SMOKE & CARBON MONOXIDE ALARM C/W REQUIRED VISUAL COMPONENT

61)

LEDGER BOARD (REFER TO PLAN FOR LUMBER SIZE):

- ANCHORED TO RIM BOARD OR STUDS WITH STAGGERED 1/2" Ø LAG BOLTS SPACED AS PER THE INCLUDED TABLE

- PROVIDE CONTINUOUS FLASHING WITH DRIP EDGE AS PER THE O.B.C.

- \*P. ENG. TO VERIFY WHEN ANCHORED TO A WALL WITH AN EXTERIOR MASONRY FINISH, REFER TO INCLUDED DETAIL

62)

4" EXTERIOR MASONRY CHASE IN FOUNDATION WALL [O.B.C. DIV. B, 9.15.4.7]:

- FACING SHALL BE TIED TO FOUNDATION WITH METAL TIES SPACED 8" VERTICALLY AND 36" HORIZONTALLY AND,

- GROUT SPACE BETWEEN FACING AND FOUNDATION SOLID TO TOP OF FOUNDATION WALL

- SITE VERIFY HEIGHT (REFER TO GRADING PLAN)

63)

- SPACE TRUSSES ADEQUATELY TO NOT INTERFERE WITH THE CEILING PENETRATION OF ANY FIXTURES (LIGHTING, SOLAR TUBES, ETC.) AT THE NOTED LOCATION OR CENTER OF ANY COFFERED CEILING PANELS

- TRUSS DESIGNER AND CONTRACTOR TO VERIFY

64)

WINDOW PROTECTION:

WHERE THE INTERIOR FLOOR IS 6'-0" OR MORE ABOVE THE FINISHED GRADE OR SURFACE ON THE OUTSIDE OF THE WINDOW [O.B.C. 9.8.8.1.(4)&(5)]:

- THE WINDOW SHALL BE:

- AT LEAST 3'-0" ABOVE THE FLOOR (BOTTOM EDGE), OR

- LIMITED TO ONLY OPEN A MAXIMUM OF 4" WITH A MECHANISM THAT CAN ONLY BE RELEASED WITH TOOLS OR SPECIAL KNOWLEDGE, OR

- PROTECTED BY A GUARD [O.B.C. DIV. B, 9.8.8], OR,

- ONLY OPENABLE AT THE TOP

- WINDOW MANUFACTURER RO VERIFY

65)

WINDOWS INSTALLED OVER STAIRS, RAMPS OR LANDINGS [O.B.C. DIV. B, 9.8.8.1.(6)]:

GLAZING LESS THAN 3'-0" ABOVE THE STAIR TREADS, RAMP OR LANDINGS:

- NON-OPENABLE AND DESIGNED TO WITHSTAND THE LOADS FOR GUARDS [O.B.C. DIV. B, 4.1.5.14], OR,

- PROTECTED WITH A GUARD IN ACCORDANCE WITH O.B.C. DIV. B, 9.8.8.

- WINDOW MANUFACTURER TO VERIFY

66)

MAIN ENTRANCE DOOR TO DWELLING UNITS:

EACH MAIN ENTRANCE TOO TO A DWELLING UNIT SHALL BE PROVIDED WITH THE FOLLOWING

- AN EXTERIOR LIGHTING FIXTURE CONTROLLED BY AN INTERIOR LIGHT SWITCH ACCESSIBLE BY AUTHORIZED PERSONNEL ONLY [O.B.C. 9.34.2.1]

- A DOOR VIEWER **OR** TRANSPARENT GLAZING IN THE DOOR OR A SIDELIGHT [O.B.C. 9.7.2.1,(2)]

- OWNER TO VERIFY STYLE

67)

WINDOWS NEAR EXITS [O.B.C. DIV. B, 9.8.4]:

- OPENING SHALL BE PROTECTED WITH WIRED GLASS IN FIXED STEEL FRAMES OR GLASS BLOCK CONFORMING TO O.B.C. DIV. B, 9.10.13.5 & 9.10.13.7

- OPTION 2: REMOVE WINDOW, CONTINUE LIKE CONSTRUCTION THROUGH

70)

DOOR IN A FIRE RATED ASSEMBLY

- 20 MINUTE FIRE RESISTANCE RATING (MINIMUM)

- SELF CLOSING DEVICE

- ACT AS A CONTINUOUS BARRIER AGAINST THE PASSAGE OF SMOKE

71)

SMOKE TIGHT BARRIER AROUND SERVICE ROOM [O.B.C. DIV. B, 9.10.10.4.(2)(b)]:

THE ENTIRE ROOM SHALL BE PROTECTED BY A CONTINUOUS SMOKE-TIGHT BARRIER CONSISTING OF:

- 1 LAYER OF 5/8" TYPE 'X' DRYWALL ON THE CEILING

- 1 LAYER OF 5/8" TYPE 'X' DRYWALL ON BOTH SIDES OF WALLS

- ANY DOORS IN WALLS LISTED ABOVE SHOULD HAVE SELF CLOSURES AND SMOKE TIGHT BARRIERS

72)

FIRE RATED WALL ASSEMBLY AT EXTERIOR WALL:

- CONTINUE FIRE RATED WALL ASSEMBLY THROUGH STRAPPING TO FOUNDATION WALL WITH PROPER FIRE BLOCKING

- ENSURE FIRE RATED FLOOR/CEILING ASSEMBLY CONTINUES THROUGH TO FOUNDATION ABOVE CONCEALED SPACES

COLUMN SCHEDULE

1. 3.5" Ø x 0.188 H.S.S. COLUMN

- 4x4x1/2 TOP PLATE

- 4x8x1/2 BASE PLATE WITH 2-5/8"x10" ANCHOR BOLTS

- 36"x36"x16" CONCRETE FOOTING (UNLESS OTHERWISE NOTED)

2. DECORATIVE COLUMN (REFER TO PLAN FOR SIZE)

3. INTERIOR DECORATIVE STRUCTURAL COLUMN (REFER TO PLAN FOR SIZE)

4. 6x6 WOOD POST (OR APPROVED EQUAL) WITH OR WITHOUT DECORATIVE SURROUND (REFER TO PLAN FOR SIZE) ANCHORED TO SLAB / DECK / PIER


5. 6x6 WOOD POST (OR APPROVED EQUAL) WITH DECORATIVE SURROUND ON THE PEDESTAL (REFER TO PLAN FOR SIZES) ANCHORED TO SLAB

6. TRIPLE STUD (REFER TO PLAN FOR SIZE) WOOD POST ON 36"x36"x16" POURED CONCRETE PAD FOOTING (UNLESS OTHERWISE NOTED)

7. ENGINEERED STEEL COLUMN

- FOR COLUMN, TOP AND BOTTOM PLATES & CONCRETE PAD FOOTING SIZES REFER TO ENGINEERED DRAWINGS

WALL SCHEDULE

W1) 

FOUNDATION WALL:

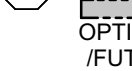
DELTAMS WATER DRAINAGE & DAMPPROOF SYSTEMS ON THE EXTERIOR OF

A) 8" POURED CONCRETE (20 MPa) FOUNDATION WALL

B) 10" POURED CONCRETE (20 MPa) FOUNDATION WALL

C) 12" POURED CONCRETE (20 MPa) FOUNDATION WALL

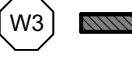
- CONTINUOUS AIR BARRIER REQUIRED FROM TOP OF CEILING TO TOP OF BASEMENT SLAB [AS PER O.B.C. DIV. B, 9.25.3]

W2) 

INTERIOR PARTITION:

- 2x4 OR 2x6 STUDS @ 16" O/C WITH 1/2" DRYWALL ON BOTH SIDES

- PROVIDE DOUBLE STUDS @ OPENINGS AND TRIPLE STUDS AT CORNERS


W3) 

INTERIOR LOAD BEARING WALL:

- 2x4 OR 2x6 STUDS @ 16" O/C WITH 1/2" DRYWALL ON BOTH SIDES

- PROVIDE ADEQUATE BLOCKING @ MIDPOINT

- PROVIDE DOUBLE STUDS @ OPENINGS AND TRIPLE STUDS AT CORNERS


W4) 

INTERIOR LOAD BEARING WALL WITH FOOTING:

- 2x4 @ 16" O/C STUDS ON 1 COURSE 4" ASHLAR & 16"x6" CONCRETE FOOTING OR,

- 2x6 @ 16" O/C STUDS ON 1 COURSE 6" ASHLAR & 18"x6" CONCRETE FOOTING

(ALL SHOULD CONTAIN ADEQUATE BLOCKING @ MIDPOINT)

W5) 

WALL CONSTRUCTION (BRICK/STONE):

- 4" FACE BRICK / STONE FINISH WITH STAINLESS STEEL TIES @ 16" O/C HORIZONTAL

- 24" VERTICAL PLASTIC WEEPERS @ 24" O/C AT BOTTOM WITH RAIN & INSECT SCREEN

- 1" AIR SPACE

- TYVEK HOUSEWRAP WATER RESISTIVE BARRIER (OR APPROVED EQUAL)

- AIR BARRIER CONTINUOUS FROM TOP OF CEILING TO TOP OF BASEMENT SLAB [AS PER O.B.C. 9.25.3]

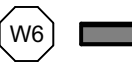
- 7/16" OSB SHEATHING

- 2x6 (OR 2x4 - REFER TO PLAN) STUDS @ 16" O/C

- R22 (MINIMUM) HIGH DENSITY BATT INSULATION OR APPROVED EQUAL (R12 BATT IF 2x4 STUDS)

- 6 MIL VAPOUR BARRIER [AS PER O.B.C. DIV. B, 9.25.4]

- 1/2" DRYWALL

W6) 

WALL CONSTRUCTION (SIDING):

- VINYL OR BOARD AND BATTON SIDING FINISH

- TYPAR HOUSEWRAP WATER RESISTIVE BARRIER (OR APPROVED EQUAL)

- AIR BARRIER CONTINUOUS FROM TOP OF CEILING TO TOP OF BASEMENT SLAB [AS PER O.B.C. 9.25.3]


- 7/16" ASPENITE SHEATHING

- 2x6 (OR 2x4 - REFER TO PLAN) STUDS @ 16" O/C

- R22 (MINIMUM) HIGH DENSITY BATT INSULATION OR APPROVED EQUAL (R12 BATT IF 2x4 STUDS)

- 6 MIL VAPOUR BARRIER [AS PER O.B.C. DIV. B, 9.25.4]

- 1/2" DRYWALL

W7) 

WALL CONSTRUCTION (STUCCO):

- STUCCO FINISH

- 2 COATS CEMENT PARGING ON FIREMESH

- 1" STYROFOAM INSULATION

- TYVEK HOUSEWRAP WATER RESISTIVE BARRIER (OR APPROVED EQUAL)

- AIR BARRIER CONTINUOUS FROM TOP OF CEILING TO TOP OF BASEMENT SLAB [AS PER O.B.C. 9.25.3]

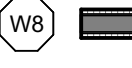
- 7/16" OSB SHEATHING

- 2x6 (OR 2x4 - REFER TO PLAN) STUDS @ 16" O/C

- R22 (MINIMUM) HIGH DENSITY BATT INSULATION OR APPROVED EQUAL (R12 BATT IF 2x4 STUDS)

- 6 MIL VAPOUR BARRIER [AS PER O.B.C. DIV. B, 9.25.4]

- 1/2" DRYWALL

W8) 

WALL CONSTRUCTION (DOUBLE STUCCO):

- 2x4 OR 2x6 STUDS (REFER TO PLAN) @ 16" O/C


EACH SIDE OF STUD:

- STUCCO FINISH

- 2 COATS CEMENT PARGING ON FIREMESH

- 1" STRYOFOAM INSULATION

- 7/16" OSB SHEATHING

W9) 

WALL CONSTRUCTION (DOUBLE BRICK/STONE):

- 2x4 OR 2x6 STUDS (REFER TO PLAN) @ 16" O/C

EACH SIDE OF STUD:


- 4" FACE BRICK / STONE FINISH

- STAINLESS STEEL TIES @ 16" O/C HORIZONTAL

- 24" VERTICAL PLASTIC WEEPERS @ 24" O/C AT BOTTOM WITH RAIN & INSECT SCREEN

- 1" AIR SPACE

- 7/16" OSB SHEATHING

W10) 

WALL CONSTRUCTION (BRICK/STONE VENEER):

- BRICK / STONE VENEER FINISH WITH VENEER MORTAR (OR APPROVED EQUAL) AS PER MANUFACTURERS SPECIFICATIONS

- TYVEK HOUSEWRAP WATER RESISTIVE BARRIER (OR APPROVED EQUAL)

- AIR BARRIER CONTINUOUS FROM TOP OF CEILING TO TOP OF BASEMENT SLAB [AS PER O.B.C. 9.25.3]

- FLASHING AS PER O.B.C.



GENERAL NOTES AND SPECS - GENERAL TRADE SPECIFICATIONS

DIVISION 1 GENERAL REQUIREMENTS

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE 2024 ONTARIO BUILDING CODE, INCLUDING ALL LATEST AMENDMENTS AS OF THE DATE LISTED IN THE TITLE BLOCK FOR THIS PROJECT, AS WELL AS ANY OTHER CODES OF PROVINCIAL OR LOCAL APPLICATION. AT ALL TIMES MEET OR EXCEED THE REQUIREMENTS OF SPECIFIED STANDARDS, CODES OR REFERENCED DOCUMENTS.

AVOID SCALING DIRECTLY FROM THE DRAWINGS. IF THERE IS AMBIGUITY OR LACK OF INFORMATION, INFORM THE CONSULTANT, ANY CHANGE THROUGH THE DISREGARDING OF THIS NOTICE TO BE THE RESPONSIBILITY OF THE CONTRACTOR.

GENERAL CONTRACTOR TO CHECK AND VERIFY ALL DRAWINGS. REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR CLARIFICATION.

VERIFY THAT ALL WORK, AS IT PROCEEDS, IS EXECUTED IN ACCORDANCE WITH DIMENSIONS WHICH MAINTAIN POSITION, LEVELS, AND CLEARANCES TO ADJACENT WORK AS SET OUT BY REQUIREMENTS OF THE DRAWINGS. ENSURE THAT WORK INSTALLED IN ERROR IS RECTIFIED BEFORE CONSTRUCTION CONTINUES.

DIVISION 2 SITE WORK

REMOVE ALL TOPSOIL AND VEGETABLE MATTER TO A MINIMUM OF 1'-0" DEEP AND 3'-0" BEYOND THE BUILDING'S PERIMETER.

EXCAVATE FOR FOUNDATIONS AND BUILDING SERVICES TO DEPTHS REQUIRED TO ALLOW FOR PROPER PLACEMENT OF THE WORK. ALL FOOTINGS TO EXTEND TO MINIMUM 4'-0" BELOW FINISHED GRADES (OR AS NOTED ON PLANS) AND TO REST ON UNDISTURBED SOIL OR ROCK. EXCAVATIONS TO BE KEPT FREE FROM STANDING WATER.

THE BOTTOM OF EVERY EXTERIOR FOUNDATION WALL TO BE DRAINED BY DRAINAGE TILE OR PIPE LAID AROUND THE OUTSIDE EDGE OF THE FOOTING THE TOP AND SIDES OF THE DRAINAGE TILE TO BE COVERED WITH A CONTINUOUS 12" THICK LAYER OF CRUSHED STONE. FOUNDATION DRAINS TO DRAIN TO A SEWER, DRAINAGE DITCH OR DRY WELL BY GRAVITY DRAINAGE OR BY PUMPING.

AFTER THE CONSTRUCTION OF FOOTINGS, PITS, WALLS OR PIERS BACKFILL ALL EXCAVATIONS WITH EXISTING APPROVED GRANULAR MATERIALS TO WITHIN 5" OF UNDERSIDE OF CONCRETE SLAB AND WITHIN 6" OF UNDERSIDE OF NEW EXTERIOR FINISHED GRADES.

SLOPE ALL FINISHED GRADES AWAY FROM BUILDING, WATER SUPPLY WELL OR SEPTIC TANK DISPOSAL BED AND ENSURE PROPER POSITIVE SURFACE DRAINAGE.

DIVISION 3 CONCRETE

CONCRETE FOR UNREINFORCED FOOTINGS AND FOUNDATION WALLS TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 20 MPa AFTER 28 DAYS WITH MAXIMUM 4" SLUMP. (20 1.1 P2) STEPPED FOOTINGS TO HAVE A MINIMUM 2'-0" HORIZONTAL DISTANCE BETWEEN STEPS. VERTICAL STEPS TO BE 2'-0" MAXIMUM (SEE 9.15.3.31 O.B.C.) OTHER FOOTINGS SHALL BE 6" THICK MIN. AND MINIMUM 6" PROJECTION BEYOND FACE OF FOUNDATION WALL UNLESS OTHERWISE NOTED ON THE DRAWINGS. FOOTINGS TO ADEQUATELY SUPPORT ALL SUPERIMPOSED LOADS WITH A MINIMUM BEARING CAPACITY OF 2500 PSF. FOUNDATIONS WALLS TO EXTEND UP MINIMUM 6" ABOVE FINISHED GRADE. REDUCED WALLS TO ALLOW BRICK FACINGS AND MAINTAIN LATERAL SUPPORT. THE MASONRY TO MINIMUM 4" WIDE X MAXIMUM 8" HIGH CONCRETE UPSTAND WITH DOVE TAIL MASONRY ANCHORS AT 8" OC VERTICALLY AND 3'-0" OC HORIZONTALLY. FILL COLLAR JOINT SOLID WITH MORTAR. PROVIDE 4"x4" BRICK KEY AT TOP OF FOUNDATION WALL. PROVIDE BEAM POCKETS (DENOTED ON PLANS) WHEREVER STEEL BEAMS BEAR ON THE CONC. FOUNDATION WALL.

CONCRETE FOR GARAGE SLABS, EXTERIOR STEPS AND EXTERIOR PORCHES TO BE 32 MPa AT 28 DAYS WITH 5% - 7% AIR ENTRAINMENT. OTHER SLABS TO BE MINIMUM 20 MPa AT 28 DAYS. CONCRETE SLABS ON GRADE TO BE MINIMUM 3" THICK AND SET ON MINIMUM 6" CLEAR STONE FILL. GARAGE SLABS ON GRADE TO BE MINIMUM 5" THICK AND REINFORCED WITH 10M REBAR AT 24" OC LOCATED NEAR MID-DEPTH OF THE SLAB.

HABITABLE ROOMS ON CONCRETE SLAB TO BE DAMP-PROOFED WITH 6 MIL POLYETHYLENE. BASEMENT OPENINGS (WINDOWS) GREATER THAN 3'-11" IN LENGTH OR CONTAINING OPENINGS IN MORE THAN 25% OF ITS LENGTH TO BE REINFORCED AS PER ENG. SPECS (2 - #3 RODS EXTENDS 12" ON EACH SIDE (4'-0" WINDOW))

DIVISION 4 MASONRY

BRICK & STONE VENEER CONSTRUCTION TO BE TIED BACK TO SOLID WOOD FRAMING MEMBERS WITH 1"x7"x22 GAUGE, CORRUGATED CORROSION RESISTANT STRAPS AT 16" OC HORIZONTAL AND 24" OC VERTICAL.

PROVIDE WEEP HOLES SPACED AT 2'-0" OC. AT THE BOTTOM COURSE OF BRICK / STONE AND OVER ALL OPENINGS. PROVIDE 6 MIL BLACK REINFORCED POLYETHYLENE DAMPCOURSE FLASHING EXTENDED UP 6" VERTICAL AT THESE LOCATIONS AND INSERT BEHIND SHEATHING PAPER.

MASONRY CORBELLING TO CONSIST OF SOLID UNITS WITH MAXIMUM 1" PROJECTION PER COURSE AND TOTAL PROJECTION NOT TO EXCEED 1/3 OF WALL THICKNESS.

DIVISION 5 METALS

STEEL PIPE COLUMNS TO BE A MINIMUM OUTSIDE DIAMETER OF 2 7/8" AND A MINIMUM WALL THICKNESS OF 3/16" FITTED WITH A 4" X 4" X 3/16" STEEL PLATE AT EACH END, WHERE AREA OF SUPPORTED FLOOR EXCEEDS 220 SQ. FT. OR IS FOR TWO FLOORS OR MORE, THE STEEL PIPE COLUMN TO BE A MINIMUM OUTSIDE DIAMETER OF 3 1/2" AND A MINIMUM WALL THICKNESS OF 0.188" WITH A 4"x3/8" STEEL PLATE MAY BE OMITTED WHERE COLUMN SUPPORTS A STEEL BEAM BY WELDING, BOLTING OR OTHER APPROVED METHOD. BASE PLATES TO BE SECURED TO CONCRETE FOOTINGS WITH MINIMUM TWO 1/2" DIAMETER BOLTS PLACED MINIMUM 4" DEEP INTO FOOTING OR TO BE POURED IN PLACE WITH THE FLOOR SLAB.

ALL STEEL BEAMS REQUIRE MINIMUM 3 1/2" BEARING AND STEEL ANGLE LINTELS REQUIRE MINIMUM 6" BEARING. PROVIDE 7 1/2" SOLID MASONRY UNDER BEAMS OR COLUMNS.

ALL STEEL COLUMNS, STEEL BEAMS AND STEEL ANGLE LINTELS TO BE SHOP PRIMED WITH ONE COAT OF RUST-INHIBITIVE PAINT.

STEEL ANGLE LINTEL SCHEDULE - REFER TO LINTEL SCHEDULE

REFER TO LINTEL SCHEDULES

DIVISION 6 WOOD AND PLASTICS

ALL FLOOR JOISTS AND FRAMING LUMBER TO BE NO. 2 GRADE SPRUCE OR BETTER. ALL WOOD LINTELS OVER OPENINGS TO BE (2)x10 UNDER DOUBLE TOP PLATE UNLESS OTHERWISE NOTED. ALL LOAD BEARING WOOD STUD PARTITIONS TO HAVE A DOUBLE TOP PLATE. STUD WALLS WITHOUT SHEATHING ON BOTH SIDES TO HAVE MID-GIRTS. PROVIDE DOUBLE STUDS AROUND OPENINGS AND TRIPLE STUDS IN CORNERS OF LOAD BEARING STUD PARTITIONS.

SILL PLATES TO BE 2x4 OR 2x6 ON SILL PLATE GASKET (ETHAFOAM) AND FASTENED ON TOP OF POURED CONCRETE FOUNDATION WITH 1/2" DIAMETER ANCHOR BOLTS AT 6'-0" OC AND EMBEDDED MINIMUM 4" INTO CONCRETE.

LOAD BEARING STUD WALLS PARALLEL TO FLOOR JOISTS TO BE SUPPORTED BY WALLS OR BEAMS OF SUFFICIENT STRENGTH TO SAFELY TRANSFER THE DESIGNED LOADS TO VERTICAL SUPPORTS. WALLS AT RIGHT ANGLES TO FLOOR JOISTS TO BE LOCATED AT MAXIMUM 2'-0" FROM THE JOIST SUPPORT IF SUPPORTING ONE OR MORE FLOORS UNLESS THE JOIST SIZE IS DESIGNED TO ACCOMMODATE SUCH LOADS.

INTERIOR WOOD BEARING WALLS IN BASEMENT TO BE 2x4 AT 16" OC ON 6 MIL POLYETHYLENE AND ANCHORED SECURELY THROUGH ASHLAR COURSE TO CONCRETE FOOTING WITH 3/8" DIAMETER BOLTS AT 7'-0" OC. EXTERIOR STUDS TO BE 2x6 AT 16" OC AND INTERIOR WOOD STUD FIRST FLOOR TO BE 2x4 AT 16" OC. EXTERIOR AND INTERIOR WOOD STUD WALLS TO BE 2x4 AT 16" OC. INTERIOR WOOD STUD WALLS AT BASEMENT PERMITTED TO BE 2x4 AT 16" OC.

ALL NON-LOADBEARING WOOD STUD WALLS TO BE 2x4 AT 16" OC. PROVIDE RIBBON BOARDS MINIMUM 1x4 EACH SIDE OF STEEL BEAM FOR LATERAL SUPPORT.

JOISTS TO HAVE A MINIMUM 1 1/2" END BEARING WHEREAS WOOD BEAMS TO HAVE MINIMUM 3 5/8" END BEARING. JOISTS FRAMED INTO THE SIDE OF WOOD BEAMS TO BE SUPPORTED ON METAL JOISTS HANGERS. JOIST HANGERS ARE ALSO REQUIRED WHERE HEADERS, TRIMMERS AND DOUBLE JOISTS FRAME INTO THE SIDE OF OTHER MEMBERS. HEADER JOISTS TO BE DOUBLED WHERE THEY EXCEED 4'-0" IN LENGTH. HEADER JOISTS EXCEEDING 10'-8" IN LENGTH TO BE DETERMINED BY CALCULATION. TRIMMER JOISTS TO BE DOUBLED WHEN LENGTH OF HEADER JOISTS EXCEED 2'-8". WHEN HEADER JOIST LENGTH EXCEEDS 6'-8" THE SIZE OF TRIMMER JOISTS TO BE DETERMINED BY CALCULATION. PROVIDE FRAMING OR SOLID BLOCKING AS REQUIRED FOR PROPER LOAD TRANSFER OF POINT LOADS FROM ABOVE.

PROVIDE DOUBLE JOISTS UNDER ALL NON-LOADBEARING PARTITIONS OVER 6'-0" IN LENGTH PARALLEL TO FLOOR JOISTS. WHERE PARTITIONS CONTAIN NO FULL HEIGHT OPENINGS THE JOISTS DO NOT NEED TO BE DOUBLED. DOUBLE JOISTS CAN BE SEPARATED BY MAXIMUM 8' APART BY USING 2x4 SOLID WOOD BLOCKING AT 4'-0" OC. CANTILEVERED FLOOR JOIST SUPPORTING ROOF LOADS HAVE TO EXTEND INWARD AWAY FROM THE CANTILEVERED SUPPORT FOR A DISTANCE EQUAL TO AT LEAST 6 TIMES THE LENGTH OF THE CANTILEVER. JOISTS AND BEAMS TO BE STAGGERED MINIMUM 4" AT PARTY WALL.

ALL BRIDGING TO BE 2x2 WOOD CROSS BRACING OR SOLID WOOD BLOCKING AT 6'-0" OC. WHERE CLEAR SPAN OF FLOOR JOIST IS WITHIN 18" OF MAXIMUM SPAN PERMITTED PROVIDE BRIDGING AT 4'-0" OC.

TYPICAL FLOOR CONSTRUCTION TO CONSIST OF FINISHED FLOORING ON 5/8" TONGUE AND GROOVE SHEATHING ON WOOD FLOOR JOISTS AS INDICATED ON DRAWINGS. PROVIDE MORTAR SCRATCH COAT ON SHEATHING AT LOCATIONS WHERE CERAMIC TILE IS USED ON FLOORS.

TYPICAL ROOF CONSTRUCTION TO CONSIST OF 215 LB. ASPHALT SHINGLES ON 1/2" PLYWOOD SHEATHING WITH H-CLIP EDGE SUPPORTS ON PRE-ENGINEERED WOOD TRUSSES AT 2'-0" OC. BOTTOM CHORD OF TRUSSES TO BE DESIGNED TO SUPPORT CEILING LOADS. TRUSS MANUFACTURER TO CHECK AND VERIFY THAT ALL LOADING AND STRESSES COMPLY WITH AND ARE IN ACCORDANCE WITH THE LOCAL CONDITIONS AND REQUIREMENTS. TRUSS MANUFACTURER TO NOTIFY CONSULTANTS OF ANY DISCREPANCIES THAT MAY AFFECT ROOF LINES AS INDICATED. PROVIDE 2x4 TRUSS BRACING AT 7'-0" OC AT BOTTOM CHORD OR AS PER MANUFACTURER'S DESIGN.

INTERIOR STAIRS TO HAVE A MAXIMUM RISE OF 7 7/8". A MINIMUM RUN OF 10" W/ 1" NOSE. BASEMENT STAIR TO BE 3'-6" WIDE ROUGH STUD OPENING. STAIR FROM FIRST FLOOR TO SECOND FLOOR TO BE 3'-11" FROM ROUGH STUD FACE TO EXPOSED FACE OF STRINGER. ONLY ONE SET OF WINDERS ARE ALLOWED BETWEEN FLOORS WITH AN INDIVIDUAL WINDER TREAD OF 30 DEGREES AND MAXIMUM TURN OF 90 DEGREES. LANDING TO BE AS LONG AS THE STAIR WIDTH.

HANDRAILS WITHIN THE DWELLING UNIT TO BE 2'-8" HIGH ABOVE THE NOSING. GUARDRAILS WITHIN THE DWELLING UNIT TO BE 3'-0" HIGH ABOVE THE EXTERIOR BALCONY GUARDRAILS TO BE 3'-6" HIGH ABOVE FINISHED BALCONY LEVEL. PROVIDE MAXIMUM 4" SPACE BETWEEN VERTICAL PICKETS AND NO HORIZONTAL MEMBERS BETWEEN 4" OR 3'-0" ABOVE NOSING OR BALCONY LEVEL.

PROVIDE ONE 3/4" THICK X 12" WIDE WOOD SHELF COMPLETE WITH COAT ROD AND BRACKETS AS REQUIRED AT EACH CLOTHES CLOSET LOCATION. PROVIDE FIVE 3/4" THICK X 18" WIDE WOOD SHELVES AT ALL LINEN CLOSET LOCATIONS.

DIVISION 7 THERMAL AND MOISTURE PROTECTION

CONCRETE FOUNDATION WALLS TO HAVE ALL EXTERIOR THE HOLES AND RECESSES SEALED WITH MORTAR OR WATERPROOFING MATERIALS. CONCRETE FOUNDATION WALLS TO BE DAMP-PROOFED TO BE COVERED WITH A LIBERAL COAT OF BITUMINOUS MATERIAL. COVE DAMP-PROOFING OVER ALL FOOTING AND OBSTRUCTIONS TO PROVIDE WATERPROOF JUNCTION.

PROVIDE SUITABLE FIRE STOPS FOR ALL CONCEALED AREAS AT FLOOR, CEILING, ROOF LEVELS AND AT STAIRS. CLEARANCES BETWEEN CHIMNEYS OR GAS VENTS AND THE ADJOINING CONSTRUCTION WHICH ALLOW AIR LEAKAGE AND HEAT LOSS FROM WITHIN THE BUILDING INTO THE ADJACENT ROOF SPACE IS TO BE SEALED WITH NON-COMBUSTIBLE MATERIAL TO PREVENT SUCH LEAKAGE.

PROVIDE THE FOLLOWING MINIMUM THERMAL RESISTANCE VALUES THROUGHOUT THE BUILDING CONSTRUCTION:

- CEILING BELOW AN ATTIC OR ROOF SPACE (R60)
- EXTERIOR WOOD FRAMED WALLS ABOVE FOUNDATION (R22)
- CONCRETE FOUNDATION WALL (R20 4)

PERIMETER INSULATION FOR FOUNDATION WALLS ENCLOSING HEATED AREAS SHALL BE CONTINUOUS R20 BLANKET INSULATION (OR APPROVED EQUAL) COMPLETE WITH INTEGRAL 6 MIL POLYETHYLENE VAPOUR RETARDER.

WALL AND CEILING INSULATION TO BE PROTECTED BY 6 MIL TYPE 1 VAPOUR RETARDANT INSTALLED IN SUCH A MANNER THAT ALL JOINTS OCCUR OVER WOOD FRAMING MEMBERS AND ARE LAPPED MINIMUM 4". ALL PERFORATIONS THROUGH THE VAPOUR RETARDANT CAUSED BY THE INSTALLATION OF ELECTRICAL OR MECHANICAL ITEMS TO BE TIGHTLY SEALED USING CAULKING, TAPE OR OTHER APPROVED METHODS OF SEALING IN ORDER TO MAINTAIN THE INTEGRITY AND CONTINUITY OF THE VAPOUR RETARDANT IN THE BUILDING ENVELOPE.

EXPOSED FLASHING TO BE 0.013" GALVANIZED STEEL, 0.014" COPPER, 0.018" ZINC OR 0.019" ALUMINUM. CONCEALED FLASHING TO BE F-20 BY LEXSUCO CANADA LTD. OR TYPE "S" ROLL ROOFING. FLASHING TO BE INSTALLED AT THE FOLLOWING LOCATIONS:

- AT EVERY HORIZONTAL JUNCTION BETWEEN DIFFERENT EXTERIOR FINISHES EXCEPT WHERE THE UPPER FINISH OVERLAPS THE LOWER FINISH
- OPENINGS IN EXTERIOR WALLS WHEN VERTICAL DISTANCE BETWEEN TOP OF OPENING AND BOTTOM OF EAVES EXCEEDS 1/4 OF HORIZONTAL EAVE OVERHANG
- BENEATH SANDSTONE AND JOINTED MASONRY WINDOW SILLS
- OPEN VALLEYS TO BE FLASHED WITH NOT LESS THAN ONE LAYER OF SHEET METAL MINIMUM 2'-0" WIDE WITH A LAYER OF #15 ROOFING PAPER OR FELT UNDERLAY, OR TWO LAYERS OF ROLL ROOFING. BOTTOM LAYER 55 LB. MINIMUM NOT LESS THAN 18" WIDE AND TOP LAYER 90 LB. MINIMUM 36" WIDE
- INTERSECTIONS OF ASPHALT SHINGLE ROOF AND MASONRY WALLS OR CHIMNEYS TO BE PROTECTED BY COUNTER FLASHING IMBEDDED A MINIMUM OF 1" INTO THE MASONRY AND EXTENDED NOT LESS THAN 8" DOWN THE MASONRY AND LAR LOWER FLASHING MINIMUM 4". FLASHING ALONG THE SLOPE OF THE ROOF TO BE STEPPED SO THAT THERE IS A MINIMUM OF 3" HEAD LAP IN BOTH LOWER AND COUNTER FLASHING. FLASHING AT THE INTERSECTION OF SHINGLE ROOFS AND CLADDING OTHER THAN MASONRY TO EXTEND UP THE WALL MINIMUM 3" BEHIND SHEATHING PAPER AND MINIMUM 3" HORIZONTALLY.
- THE INTERSECTION OF SINGLE PLY MEMBRANE ROOFS AND ADJACENT WALL SURFACES TO HAVE A CANT STRIP WITH THE MEMBRANE EXTENDED MINIMUM 6" UP THE WALL AND COUNTER FLASHED OR SET BEHIND THE SHEATHING PAPER.
- CHIMNEY FLASHING IS REQUIRED AT INTERSECTION WITH ROOF. FLASH OVER CHIMNEY SADDLE WHEN WIDTH OF CHIMNEY EXCEEDS 2'-8"

ROOF EAVE TO BE FINISHED WITH PRE FINISHED ALUMINUM EAVES TROUGH, FASCIA AND VENTED SOFFIT. PROVIDE ONE PRE FINISHED ALUMINUM DOWN SPOUT FOR EACH 30' RUN OF EAVE. ROUGH OR PART THEREOF AROUND THE PERIMETER OF THE BUILDING. CONNECT DOWN SPOUTS TO THE STORM SEWER SYSTEM OR ONTO GRADE WITH PRE CAST CONCRETE SPLASH PADS TO PREVENT EROSION.

ROOF SPACE VENTILATION TO BE 1/300 OF INSULATED AREA FOR ROOF SLOPES GREATER THAN 2 IN 12 AND 1/150 OF INSULATED AREA FOR ROOF SLOPES LESS THAN 2 IN 12 OR ANY ROOF WHERE AN INTERIOR FINISH IS APPLIED TO THE UNDERSIDE OF THE ROOF RAFTERS, NOT MORE THAN HALF OF THE REQUIRED VENTILATION AREA IS TO BE PROVIDED NEAR THE RIDGE EXCEPT FOR CATHEDRAL CEILINGS AND ROOFS WHERE CONTINUOUS RIDGE AND EAVE VENTILATION IS REQUIRED. ALL VENTILATION OPENINGS TO BE PROTECTED FROM THE WEATHER AND INSECTS. VENTS TO BE CONSTRUCTED OF RUST PROOF MATERIAL.

PROVIDE TYPE "S" ROLL ROOFING OR DOUBLE LAYER OF NO. 15 ASPHALT SATURATED FELTS AS EAVE PROTECTION AT ALL ROOF EDGES AND EXTEND TO A LINE NOT LESS THAN 12" INSIDE THE INNER FACE OF THE EXTERIOR WALL.

ALL PENETRATIONS AND JOINTS BETWEEN HEATED AND UNHEATED SPACES SHALL ADEQUATELY SEALED WITH CAULKING OR APPROVED EQUAL (INCL. BUT NOT LIMITED TO: WHERE THE WALL PLATES MEET THE FLOORS OR TRUSSES, AT SILL PLATES, WHERE THE SLAB MEETS THE FDN WALL, AT WINDOWS & DOORS, ATTIC ACCESSES, VENTS, PLUMBING STACKS, ELECTRICAL SERVICES, TELEPOSTS, ETC.) (REFER TO O.B.C. 9.29).

DIVISION 8 DOORS AND WINDOWS

WINDOW SIZES AND TYPES TO BE AS DENOTED ON PLANS. ALL WINDOWS TO BE DOUBLE GLAZED OR TO INCLUDE REMOVABLE STORM WINDOWS IN ORDER TO MINIMIZE HEAT LOSS AND AIR INFILTRATION. MINIMUM SIZE OF TRANSPARENT OPENINGS FOR HABITABLE ROOMS TO BE 10 % OF APPLICABLE FLOOR AREA AND FOR BEDROOMS TO BE 5 % OF APPLICABLE FLOOR AREA. AT LEAST ONE WINDOW PER BEDROOM TO HAVE AN INDIVIDUAL UNOBSTRUCTED OPENING NOT LESS THAN 3.7 SQ. FT. WITH NO WINDOW DIMENSION LESS THAN 15".

DOOR SIZES AND TYPES TO BE AS DENOTED ON PLANS. MAIN ENTRANCE DOOR TO HAVE A THUMB TURN LOCK SET WHICH ALLOWS OPENING THE DOOR FROM THE INSIDE WITHOUT A KEY. ALL GLASS IN SIDE LIGHTS GREATER THAN 20", IN SLIDING PATIO DOORS AND IN STORM DOORS TO BE LAMINATED OR TEMPERED SAFETY GLASS. THE DOOR BETWEEN THE GARAGE AND HABITABLE AREAS TO BE A SOLID CORE EXTERIOR TYPE WITH A SELF CLOSING DEVICE AND TIGHT FITTING WEATHER STRIPPING TO PROVIDE AN EFFECTIVE BARRIER AGAINST GAS AND EXHAUST FUMES. PROVIDE AN MIN 6" HIGH STEP AT THIS DOOR.

PROVIDE ACCESS HATCHES TO CRAWL SPACES OR ATTICS WITH ROOF SPACES MORE THAN 2'-0" HIGH. ACCESS HATCH OPENING TO BE A MINIMUM 20"x28", AND FITTED WITH DOORS OR COVERS THAT ARE INSULATED AND WEATHER STRIPPED

ALL WINDOWS SHOWN ON DRAWINGS TO BE AS MANUFACTURED BY PELLA WINDOWS OR AN APPROVED EQUAL.

TYPE: METAL CLAD CASEMENT OR AS NOTED

DIVISION 9 FINISHES

SOUND TRANSMISSION CLASSIFICATION RATINGS BETWEEN DWELLING UNITS TO BE MINIMUM 45 DECIBELS. FLAME SPREAD RATING OR INTERIOR FINISHES TO BE 150 MAXIMUM OR 200 MAXIMUM WHEN P.O.C. DETECTORS ARE INSTALLED.

FINISHED FLOORING IN BATHROOMS, LAUNDRY ROOMS, ENTRANCES, GENERAL STORAGE AREAS AND KITCHENS TO BE RESILIENT TYPE PROVIDING WATER RESISTANCE. REFER TO CONTRACTOR'S SCHEDULE.

ALL EXTERIOR MOLDINGS, TRIMS, PEDIMENTS, PLASTERES, ETC. TO BE AS SUPPLIED BY PENINSULA ARCHITECTURAL DETAILS INC. OR APPROVED EQUAL.

DIVISION 10 SPECIALTIES

CHIMNEYS TO EXTEND THROUGH UNIT IN FURRED SPACES AND UP THROUGH ROOF CONSTRUCTION A MINIMUM OF 3'-0" ABOVE POINT OF CONTACT WITH ROOF BUT NOT LESS THAN 2'-0" ABOVE ROOF SURFACE WITHIN A HORIZONTAL DISTANCE OF 10'-0".

DIVISION 11 EQUIPMENT

STOVES, RANGES AND SPACES HEATERS USING SOLID FUELS TO CONFORM TO UNDERWRITERS' LABORATORIES OF CANADA TEST S627-M1983 'STANDARDS FOR SPACE HEATERS FOR USE WITH SOLID FUELS'.

DIVISION 13 SPECIAL CONSTRUCTION

DIVISION 15 MECHANICAL

LOCATION OF WATER METER AND GAS METER TO BE IN ACCORDANCE WITH THOSE AUTHORITIES HAVING APPROPRIATE JURISDICTION.

DUCTWORK IN ATTIC OR ROOF SPACES TO HAVE ALL JOINTS TAPED AND SEALED TO ENSURE THAT DUCTS ARE AIRTIGHT THROUGHOUT THEIR LENGTH.

PROVIDE MINIMUM OF 1 SQ. FT. UNOBSTRUCTED NATURAL VENTILATED AREA FOR EVERY 500 SQ. FT. OF FLOOR AREA IN CRAWL SPACES AND BASEMENTS. PROVIDE MINIMUM 3 SQ. FT. UNOBSTRUCTED NATURAL VENTILATED AREA IN FINISHED OR HABITABLE AREAS. PROVIDE MINIMUM 1 SQ. FT. UNOBSTRUCTED NATURAL VENTILATED AREA IN BATHROOMS. WHEN MECHANICAL VENTILATION IS REQUIRED PROVIDE MINIMUM ONE AIR CHANGE PER HOUR. DISCHARGE EXHAUST DIRECTLY TO OUTDOORS AND PROVIDE BACK FLOW DAMPERS AT DUCT END OR FAN.

EXHAUST OUTLETS THAT DISCHARGE MOIST AIR (SUCH AS FROM BATHROOMS AND CLOTHES DRYERS) SHOULD BE AT LEAST 1.8m (5'-11") BELOW VENTED SOFFITS OR ANY SOFFIT WITHIN 1.8m (5'-11") SHOULD BE UNVENTED OR HAVE THE FULL DEPTH BLOCKED [O.B.C. 9.32.3.13]

METAL CHIMNEYS AND VENTS TO BE U/LC LABELED, CLASS B FOR GAS-FIRED FURNACES. A METAL CHIMNEY NOT SUPPORTED ON A FOUNDATION TO BE SUPPORTED BY NON-COMBUSTIBLE MATERIAL AND THE SUPPORT TO BE INDEPENDENT OF THE APPLANCE IT SERVES.

DIVISION 16 ELECTRICAL

LOCATION OF HYDRO METER AND ELECTRICAL PANEL TO BE IN ACCORDANCE WITH THE AUTHORITIES HAVING APPROPRIATE JURISDICTION.

PROVIDE 3 WAY WALL SWITCHES LOCATED AT THE HEAD AND FOOT OF EVERY STAIRWAYS EXCEPT AT UNFINISHED BASEMENTS. PROVIDE A SEPARATE THREE WIRE CIRCUIT WITH NO OTHER OUTLET CONNECTIONS TO EACH DRYER RECEPTACLE, STOVE RECEPTACLE AND AT LEAST THREE SPLIT RECEPTACLES IN EACH KITCHEN. TWO OF THE KITCHEN RECEPTACLES MUST BE INSTALLED ABOVE THE COUNTER LEVEL.

ELECTRICAL SWITCHES, RECEPTACLES, ETC. ON OPPOSITE SIDES OF DEMISING WALL TO BE STAGGERED. ALL WALL MOUNTED EQUIPMENT (I.E. ELECTRICAL SERVICE PANELS) TO BE INSTALLED IN SUCH A MANNER A TO MAINTAIN THE INTEGRITY OF THE DEMISING WALL FIRE SEPARATION.

PRODUCTS OF COMBUSTION DETECTORS TO BE A SINGLE STATION ALARM TYPE SUCH AS AN IONIZATION P.O.C. DETECTOR OR A PHOTO ELECTRIC DETECTOR WHICH TYPE WHICH IS U.L.C. LABELED AND LISTED. DETECTORS TO BE EQUIPPED WITH A VISUAL INDICATOR WHICH DEMONSTRATES THAT THE UNIT IS OPERATIONAL. DETECTORS TO BE PERMANENTLY MOUNTED TO A JUNCTION BOX OR STANDARD ELECTRICAL OUTLET ON THE CEILING AND WIRED TO THE MAIN ELECTRICAL PANEL ON A SEPARATE CIRCUIT. THE DETECTOR IS LOCATED AT THE CEILING LEVEL BETWEEN THE BEDROOMS OR SLEEPING AREAS AND THE REMAINDER OF THE DWELLING UNIT, SUCH AS INDICATED ON THE DRAWINGS. THE DETECTOR TO HOUSE AN ALARM THAT IS AUDIBLE WITHIN THE BEDROOM OR SLEEPING AREAS WHEN INTERVENING DOORS ARE CLOSED.

OPTIONAL REQUIREMENTS FOR THE FUTURE INSTALATION OF ELECTRIC VEHICLE CHARGING IN PARKING AREAS:

- LOCATIONS INCLUDED BUT NOT LIMITED TO GARAGE, CARPORT, ADJACENT TO THE DRIVEWAY
- A MINIMUM 200 AMP PANELBOARD
- A CONDUIT FROM THE PANEL TO THE PARKING SPACE
- AN ELECTRICAL BOX IN THE PARKING SPACE

LIST OF TYPICAL ABBREVIATIONS

ALUM. = ALUMINUM	D.J. OR DBL JST = DOUBLE JOIST	I.S.A. = INTERCONNECTED SMOKE ALARM	REQD = REQUIRED
BKLG = BLOCKING	"DITTO" = DITTO	L.V.L. = LAMINATED VENEER LUMBER	RFRTR = RAFTER
BSMNT = BASEMENT	EXH FAN OR E.F. = EXHAUST FAN	N.T.L. = METAL	S.C.L. = STRUCTURAL COMPOSITE LUMBER
BTM = BOTTOM	FDN = FOUNDATION	N.T.S. = NOT TO SCALE	STL BM = STEEL BEAM
CANT'L = CANTILEVERED	FIN. FLR = FINISHED FLOOR	O.B.C. = ONTARIO BUILDING CODE	O/C = ON CENTER
CATH. CLG = CATHEDRAL CEILING	FL. = FLUSH	P.E.B. = PRE-ENGINEERED BEAM	SQ. FT. = SQUARE FOOTAGE OR SQUARE FOOT
COL = COLUMN	FTG = FOOTING	P.E.H. = PRE-ENGINEERED HEADER	TYP = TYPICAL
CONC. = CONCRETE	HSS = HOLLOW STRUCTURAL STEEL	PRE FIN. = PRE-FINISHED	T.J. OR TRPL JST = TRIPLE JOIST
COV. = COVERED	H.W.T. = HOT WATER TANK	PROVD = PROVIDE OR PROVIDED	T.W.H. = TANKLESS WATER HEATER
CSUL = CEILING HEIGHT	H.R.V. = HEAT RECOVERY VENTILATOR	P.T. = PRESSURE TREATED	UNEX = UNEXCAVATED
CLG TRANS. = CEILING TRANSITION	INSUL. = INSULATION OR INSULATED	P.L.A. = POINT LOAD ABOVE	UNFIN. = UNFINISHED
DBL PLT = DOUBLE PLATE	I.S.C.A. = INTERCONNECTED SMOKE & CARBON MONOXIDE ALARM	REINF. = REINFORCED	V.B. = VAPOUR BARRIER
			W.W.M. = WELDED WIRE MESH

GENERAL CONSTRUCTION NOTES

GENERAL CONSTRUCTION NOTES:

- STEEL BEAMS SUPPORTING NON-UNIFORM LOADS (POINT LOADS, BRICK LOADS, ETC.) AND THE SUPPORTING STEEL POSTS & CONCRETE PADS SHALL BE SIZED BY A PROFESSIONAL ENGINEER OR APPROVED EQUAL
- KITCHEN LAYOUT TO BE VERIFIED BY KITCHEN DESIGNER / MANUFACTURER
- ALL COOKING APPLIANCES AND LAUNDRY SPACES SHALL BE SUPPLIED WITH AN ELECTRICAL OUTLET, NATURAL GAS LINE OR PROPANE LINE
- THE FURNACE SHALL HAVE A BRUSHLESS DIRECT CURRENT MOTOR (AS PER O.B.C. DIV. B, 12.3.1.5 (2))
- ELECTRICAL LAYOUT TO BE VERIFIED ON SITE BY OWNER/BUILDER & CONTRACTOR
- PROVIDE ICE AND WATER SHIELD AT ALL FLAT ROOF, DORMER, VALLEY, ROOF CRICKET AND HIP ROOF CONNECTIONS
- PROVIDE 5" CONTINUOUS EAVESTROUGH TO DRAIN POSITIVELY TO RAIN WATER DOWNSPOUTS LOCATED AS PER O.B.C. REQUIREMENTS & LOCAL MUNICIPAL DRAINAGE BYLAWS
- WALLS, FLOORS AND CEILINGS THAT SEPARATE CONDITIONED SPACES FROM UNCONDITIONED SPACES SHALL BE CONSTRUCTED SO TO INCLUDE AN AIR BARRIER SYSTEM THAT SHALL PROVIDE A CONTINUOUS BARRIER TO AIR LEAKAGE
- THE CONTINUITY OF THE AIR BARRIER SYSTEM SHALL EXTEND THROUGHOUT THE BASEMENT AND ALL PENETRATIONS MUST BE SEALED AIRTIGHT (O.B.C. DIV. B, 9.25.3.3 SB-12)
- ALL PENETRATIONS IN SLAB (IE, WHERE THE SLAB MEETS THE FOUNDATION WALL, TELEPOSTS, PLUMBING DRAINS, ETC.) SHALL BE ADEQUATELY SEALED
- FOUNDATION WALLS TO BE ENGINEERED IF THE TOTAL LENGTH OF ALL OPENINGS EXCEED 25% OF THE TOTAL WALL LENGTH OR IF ANY OPENING EXCEEDS 47"
- EXTERIOR CONCRETE STAIRS WITH MORE THAN 2 RISERS AND 2 TREADS SHALL BE SUPPORTED ON CONCRETE WALLS OR PIERS (MINIMUM 6" IN CROSS SECTION) OR CANTILEVERED FROM THE MAIN FOUNDATION WALL (AS PER O.B.C. DIV. B, 9.8.9.2)
- ALL STAIRS SHALL CONFORM TO O.B.C. DIV. B, SECTION 9.8 - RISE / RUN DIMENSIONS - SECTION DIV. B, 9.8.2, LANDINGS - SECTION DIV. B, 9.8.6, HANDRAILS - SECTION DIV. B, 9.8.7
- ROOF & GIRDER TRUSS LOCATION TO BE VERIFIED BY ROOF MANUFACTURER
- L.V.L. AND S.C.L. BEAMS AND POSTS TO BE VERIFIED BY THE LUMBER SUPPLIER
- WOOD LAYOUTS SHALL HAVE ADEQUATE BLOCKING AT ALL SUPPORTS (LUMBER SUPPLIER TO VERIFY)
- ALL EXTERIOR WOOD TO BE PRESSURE TREATED
- PROVIDE ADEQUATE CAPPING AND WEATHER-PROOFING AROUND ALL EXTERIOR NON PRESSURE TREATED WOOD BEAMS
- A DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED IN EACH DWELLING UNIT TO RECEIVE DRAIN WATER FROM ALL SHOWERS OR FROM AT LEAST TWO SHOWERS WHERE THERE ARE TWO OR MORE SHOWERS IN THE DWELLING UNIT (REFER TO O.B.C. SB-12.3.1.12)
- ALL JOISTS SHALL BE RESTAINED AT THE BOTTOM FROM TWISTING BY TOE NAILING INTO THE SUPPORTED WOOD PLATE, END NAILING TO THE HEADER JOIST OR BY CONTINUOUS STRAPPING OR BLOCKING NEAR THE SUPPORT
- STEEL BEAMS SUPPORTING FLOOR JOISTS SHALL HAVE A NAILING PLATE ALONG THE TOP. IF JOISTS BEAR DIRECTLY ON THE BEAM STRAPPING SHALL BE PROVIDED ALONG THE UNDERSIDE NEAR THE BEAM

CONSTRUCTION SCHEDULES

NAILING FOR FRAMING [O.B.C. 9.23.3.4]		
CONSTRUCTION DETAIL	MIN. LENGTH OF NAILS, in	MINIMUM NUMBER OR MAXIMUM SPACING OF NAILS
FLOOR JOISTS TO PLATE - TOE NAIL	3 1/4"	2
RIM/TRIMMER JOIST OR BLOCKING - SUPPORT WALLS WITH BRACED WALL PANELS - TO SILL PLATE OR TOP WALL PLATE - TOE NAIL	3 1/4"	5 7/8" O/C
WOOD OR METAL STRAPPING TO UNDERSIDE OF FLOOR JOISTS	2 1/4"	2
CROSS BRIDGING TO JOISTS	2 1/4"	2 AT EACH END
DOUBLE HEADER OR TRIMMER JOISTS	3"	11 3/4" O/C
FLOOR JOIST TO STUD (BALLOON CONST.)	3"	2
LEDGER STRIP TO WOOD BEAM	3 1/4"	2 PER JOIST
JOIST TO JOIST SPLICE (ALSO TABLE 9.23.13.8)	3"	2 AT EACH END
HEADER JOIST END NAILED TO JOISTS ALONG PERIMETER	4"	3
TAIL JOIST TO ADJACENT HEADER JOIST (END NAILED) AROUND OPENINGS	3 1/4"	5
EACH HEADER JOIST TO ADJACENT TRIMMER JOIST (END NAILED) AROUND OPENINGS	3 1/4"	5
STUD TO WALL PLATE (EACH END)	2 1/2"	4
TOE NAIL OR END NAIL	3 1/4"	2
DOUBLED STUDS AT OPENINGS, OR STUDS AT WALLS OR WALL INTERSECTIONS AND CORNERS	3"	30" O/C
DOUBLED TOP WALL PLATES	3"	23 5/8" O/C
BOTTOM WALL PLATE OR SOLE PLATE TO JOISTS OR BLOCKING (EXTERIOR WALLS)	3 1/4"	15 3/4" O/C
INTERIOR WALLS TO FRAMING OR SUBFLOORING	3 1/4"	23 5/8" O/C
REQUIRED BRACED WALL PANELS - IN INTERIOR WALLS - TO FRAMING ABOVE AND BELOW	3 1/4"	5 7/8" O/C
HORIZONTAL MEMBER OVER OPENINGS IN NON-LOADBEARING WALLS - EACH END	3 1/4"	2
LINTELS TO STUDS	3 1/4"	2 AT EACH END
CEILING JOIST TO PLATE - TOE NAIL EACH END	3 1/4"	2
ROOF RAFTER, ROOF TRUSS OR ROOF JOIST TO PLATE - TOE NAIL	3 1/4"	3
RAFTER PLATE TO EACH CEILING JOIST	4"	2
RAFTER TO JOIST (WITH RIDGE SUPPORTED)	3"	3
RAFTER TO JOIST (WITH RIDGE UNSUPPORTED)	3"	SEE O.B.C. TABLE 9.23.13.8
GUSSET PLATE TO EACH RAFTER AT PEAK	2 1/4"	4
RAFTER AT RIDGE BOARD - TOE NAIL - END NAIL	3 1/4"	3
COLLAR TIE TO RAFTER - EACH END	3"	3
COLLAR TIE LATERAL SUPPORT TO EACH COLLAR TIE	2 1/4"	2
JACK RAFTER TO HIP OR VALLEY RAFTER	3 1/4"	2
ROOF STRUT TO RAFTER	3"	3
ROOF STRUT TO LOADBEARING WALL - TOE NAIL	3 1/4"	2
2" x 6" OR LESS PLANK DECKING TO SUPPORT	3 1/4"	2
PLANK DECKING WIDER THAN 2" x 6" TO SUPPORT	3 1/4"	3
2" EDGE LAID PLANK DECKING TO SUPPORT (TOE NAIL)	3"	1
2" EDGE LAID PLANK TO EACH OTHER	3"	17 3/4" O/C
END-JST/ END-RFR TO BUILT-UP WALL STUD	3"	5 OR 8



**Members Present:** Dan O'Hara, Chair  
Gary Bruno, Committee Member  
Eric Beauregard, Committee Member  
Dave Elliott, Committee Member

**Staff Present:** Erik Acs, Chief Planner  
Taya Taraba, Secretary-Treasurer

**Absentees:** Angie Desmarais, Vice-Chair

**1. Call Meeting to Order**

The Chair called the meeting to order at approximately 6:02 p.m.

**2. Reading of Meeting Protocol**

The Chair read the Meeting Protocol.

**4. Disclosures of Interest**

Nil.

**5. Requests for Deferrals or Withdrawals of Applications**

Nil.

**6. Order of Business**

**a. Application:** B01-25-PC; B02-25-PC

**Action:** Consent

**Applicant:** The Trustees for Christian Life Assembly

**Agent:** Dunsire Properties Inc./Nethery Planning c/o Denise Landry

**Location:** 484 Barrick Road

The Secretary-Treasurer read the correspondence received for the application.

As there were some technical difficulties, the next application was heard until the issues were resolved. After sorting out the technical difficulties, the agent provided a short presentation on the nature of the application.

Member Elliott inquired about the reduced lot frontage, regarding the parcel creation. The agent addressed that the 50m frontage addresses the woodlot, as the creation of Parcel 3 would not comply. Member Elliot inquired about Parcel 2, to which, the agent addressed that the respective lot does not yet reach Barrick Road and that access will be instated in the future. Member Elliott also brought up concerns regarding the Fire department's comments.

The Chief Planner addressed Member Elliott's concerns, stating that the property is intended to be residentially developed and that the Fire comments were written with that in mind. The Planning department does not currently have any applications for such development and cannot determine if the respective parcels will be used for those purposes at this time. The Fire comments would likely change depending on the use of the property.

Member Bruno questioned the agent regarding the nature of the easement and the general positioning on the property. The agent clarified that there would be a blanket easement across Parcel 2 in favour of Parcel 1.

Member Beauregard inquired about the access conditions to the Chief Planner.

The Chair provided several concerns, including comments regarding the frontage and access of the property. The agent addressed these comments stating that the creation of the lots would not develop a property that is sterile and undevelopable.

The Chair asked if there were any members of the public who wished to speak to the meeting, to which, there were none.

That application **B01-25-PC** and **B02-25-PC** be **granted** subject to the following conditions:

That consent application B01-25-PC and B02-25-PC be **granted** subject to the following conditions:

1. That the applicant provides the Secretary-Treasurer with the deeds for the conveyance of the subject parcels, including a registrable legal description of the subject parcels, and a copy of the deposited reference plan, for use in the issuance of the Certificate of Consent.
2. That, prior to depositing the reference plan, the following amendments are made to the satisfaction of City staff:
  - a. That the applicant apply for and obtain an easement for access to Parcel 3, over Parcel 2, which maintains the Ontario Ministry of Transportation required 14-metre setback from Highway 58.
  - b. That access be provided to the satisfaction of City Staff to Part 2 of the approved severance sketch.



- c. An 11-metre by 11-metre sight triangle is included, at the intersection of Barrick Road and West Side Road from Parcel 1, is included for conveyance to the City of Port Colborne.
- 3. That appropriate zoning be secured through application D14-12-24
- 4. That a final certification fee of \$400 per application, for a total of \$800, payable to the City of Port Colborne, is submitted to the Secretary-Treasurer.
- 5. That all conditions of consent be completed by Sept 10, 2027.

For the following reasons:

- 1. The application is consistent with the Provincial Planning Statement, conforms to the Niagara Official Plan and the City of Port Colborne Official Plan; and, after conditions are cleared, will comply with the provisions of Zoning By-law 6575/30/18, as amended.

**Motion:** Eric Beauregard

**Seconded:** Gary Bruno

**Carried:** 4-0

**b. Application:** A13-25-PC

**Action:** Minor Variance

**Applicant:** William Kemp

**Location:** Vacant Lot on Corner of 2<sup>nd</sup> Concession Road / Snider Road

The Secretary-Treasurer read the correspondence received for the application.

The Chair asked the applicant if they wished to add any further information regarding this application. The applicant had no further information to add to the application.

The Chair asked the general public if they had anything that they would like to add to the application; Jordan Folier of 644 Second Concession Road want clarification regarding the location map and the position of the new house. The applicant addressed the concerns regarding the setbacks and why the minor variance was necessary.

That application **A13-25-PC** be **granted** subject to the following conditions

- 1. **The application is minor in nature.**
- 2. **It is appropriate for the development of the site.**
- 3. **It is desirable and in compliance with the general intent and purpose of the Zoning By-law.**
- 4. **It is desirable and in compliance with the general intent and purpose of the Official Plan.**

**Motion:** Dave Elliot

**Seconded:** Dave Elliott

**Carried:** 4-0

**c. Application:** A14-25-PC  
**Action:** Minor Variance  
**Applicant:** Colette Gravel-Willie  
**Location:** 3334 Nugent Road

The Secretary-Treasurer read the correspondence received for the application.

The Chair asked the applicant if they wished to add any further information regarding this application. The applicant had no further information to add to the application.

The Chair asked if there were any members of the public who wished to add to the application, to which, there were no concerns.

That application **A14-25-PC** be **granted** subject to the following conditions

- 1. The application is minor in nature.**
- 2. It is appropriate for the development of the site.**
- 3. It is desirable and in compliance with the general intent and purpose of the Zoning By-law.**
- 4. It is desirable and in compliance with the general intent and purpose of the Official Plan.**

**Motion:** Gary Bruno

**Seconded:** Eric Beauregard

**Carried:** 4-0

**d. Application:** B07-25-PC; B08-25-PC  
**Action:** Consent  
**Applicants:** Thomas Lawrence; Crystal McNay  
**Location:** 3077 Highway 3; 953 Cedar Bay Road

The Secretary-Treasurer read the correspondence received for the application.

The Chair wanted clarification regarding the clerical error regarding the incorrect sketch posted with the Planning Report. The Chair asked the applicants if they had anything they wished to add to the application, to which, they did not. The Chair then inquired as to whether both applicants had a written agreement that the boundary adjustment could absorb part of the severed land from application B07-25-PC.

The applicant for B07-25-PC clarified the nature of the consent and boundary adjustment applications.

That application **B07-25-PC** be **granted** subject to the following conditions

1. That the applicant provides the Secretary-Treasurer with the deeds for the conveyance of the subject parcel or a registrable legal description of the subject parcel, and a copy of the deposited reference plan, for use in the issuance of the Certificate of Consent.
2. That a final certification fee of \$400 payable to the City of Port Colborne is submitted to the Secretary-Treasurer.
3. That a drainage apportionment agreement be completed by the City's Drainage Superintendent or by an approved engineer at the cost of the applicant. A copy of the deposited plan must be delivered to the Drainage Superintendent through the planning department for the apportionment agreement to be completed.
4. That all conditions of consent be completed by September 10, 2027.

For the following reasons:

1. The application is consistent with the Provincial Planning Statement and conforms to the Niagara Official Plan, City of Port Colborne Official Plan, will comply with the provisions of Zoning By-law 6575/30/18, as amended

That application **B08-25-PC** be **granted** subject to the following conditions

5. That the applicant provides the Secretary-Treasurer with the deeds for the conveyance of the subject parcel or a registrable legal description of the subject parcel, and a copy of the deposited reference plan, for use in the issuance of the Certificate of Consent.
6. That a final certification fee of \$400 payable to the City of Port Colborne is submitted to the Secretary-Treasurer.
7. That a drainage apportionment agreement be completed by the City's Drainage Superintendent or by an approved engineer at the cost of the applicant. A copy of the deposited plan must be delivered to the Drainage Superintendent through the planning department for the apportionment agreement to be completed.
8. That all conditions of consent be completed by September 10, 2027.

#### **LOT ADDITION**

1. That the applicant's solicitor shall provide written confirmation to the Secretary Treasurer of the Committee of Adjustment that under the *Planning Act*, the severed lands will merge with the adjacent lands known as 953 Cedar Bay Road.
2. That, immediately following the registration of the Transfer of the lot addition lands, the applicant/owner shall register an Application to Consolidate Parcels in order to include the lot addition with the abutting lands municipally known as 953 Cedar Bay Road. The Secretary Treasurer shall accept, to their satisfaction of this condition, and Undertaking from an Ontario solicitor to register the Application to Consolidate Parcels within 60 days following registration of the Transfer of the lot addition lands.



3. That the owner of the remnant lands and the subject lands that are going to be subject to the lot addition provide an agreement of “Purchase and Sale” to the owner of 953 Cedar Bay Road.

For the following reasons:

1. The application is consistent with the Provincial Planning Statement and conforms to the Niagara Official Plan, City of Port Colborne Official Plan, will comply with the provisions of Zoning By-law 6575/30/18, as amended.

**Motion:** Gary Bruno

**Seconded:** Eric Beauregard

**Carried:** 4-0

## **7. Other Business**

Member Bruno inquired to Staff as to whether the recommendations for reports could be added to the visual screens, to inform the public about the recommendations being forwarded by Staff.

## **8. Approval of Minutes**

That the minutes from the August 13<sup>th</sup>, 2025 meeting be approved.

**Motion:** Dave Elliott

**Seconded:** Eric Beauregard

**Carried:** 4-0

## **9. Adjournment**

There being no further business, the meeting was adjourned at approximately 7:48 pm.

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Dan O’Hara, Chair

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Taya Taraba, Secretary-Treasurer